

Steve Cammarata, Chair
Michael Graf, Vice-Chair
Monica Dever, Commissioner
Joaquin Santos, Commissioner
Bob Steinbach, Commissioner
Brenda Stephens, Commissioner
Jim Thompson, Commissioner



Lomita City Hall
Council Chambers
24300 Narbonne Avenue
Lomita, CA 90717
Phone: (310) 325-7110
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Next Resolution No. PC 2021-05

AGENDA
REGULAR MEETING
LOMITA PLANNING COMMISSION
MONDAY, MAY 10, 2021
6:00 P.M.
VARIOUS TELECONFERENCING LOCATIONS

SPECIAL NOTICE:

Pursuant to the Governor's Executive Order N-29-20, this meeting will be held via teleconference only and no physical location from which members of the public may observe the meeting and offer public comment will be provided.

Access to the meeting will be available via URL: <https://zoom.us/j/91615744395> or by phone by calling 1 (669) 900 6833, Meeting ID: 916 1574 4395.

In order to effectively accommodate public participation, participants are asked to provide their comments via e-mail before 5:00 p.m. on Monday, May 10, 2021, to l.abbott@lomitacity.com. Please include the agenda item in the subject line. All comments submitted will be read into the record until the time limit of five minutes has been reached.

All votes taken during this teleconference meeting will be by roll call vote, and the vote will be publicly reported.

1. OPENING CEREMONIES

- a. Call Meeting to Order
- b. Roll Call

2. ORAL COMMUNICATIONS

Persons wishing to address the Planning Commission on subjects other than those scheduled are requested to do so at this time. Please provide your name and address for the record. In order to conduct a timely meeting, a 5-minute time limit per person has been established. Government Code Section 54954.2 prohibits the Planning Commission from discussing or taking action on a specific item unless it appears on a posted agenda.

3. CONSENT AGENDA

All items under the Consent Agenda are considered by the Commission to be routine and will be enacted by one motion in the form listed below. There may be separate discussions of these items prior to the time the Commissioners vote on the motion. Specific items may be removed from the Consent Agenda at the request of any Commissioner or staff.

a) APPROVAL OF MINUTES: March 8, 2021

RECOMMENDED ACTION: Approve minutes.

PUBLIC HEARINGS

4. **SITE PLAN REVIEW NO. 1210**, a request to enclose an existing 400 square-foot open-air patio located at the rear of an existing 940 square-foot residence at 25356 Woodward Avenue. The subject site has a Single Family Residential (R-1) zoning designation but also contains a second residential unit, which was permitted prior to the incorporation of the City and the site is therefore considered a legal non-conforming multi-family use in a Single Family Residential (R-1) zone. Pursuant to the Municipal Code, proposed additions to non-conforming multi-family uses must be reviewed by the Planning Commission by way of a Site Plan Review. The project is categorically exempt from California Environmental Quality Act per Section 15301 (Existing Facilities).

APPLICANT: Alexander Petrakos, 100 W. Broadway, Suite 3000, Long Beach, CA 90802

PRESENTED BY: Community and Economic Development Director Kapovich

RECOMMENDED ACTION: Adopt resolution of approval subject to findings and conditions, and confirm that the project is exempt from CEQA requirements.

5. **SITE PLAN REVIEW NO. 1211 AND VESTING TENTATIVE PARCEL MAP NO. 83029**, a request for a Vesting Tentative Parcel Map to subdivide a 23,200 square-foot single family residential lot into three new lots at 26275 Appian Way. The project also includes a Site Plan Review to construct a single-family residence on Lot 1 only. At this time, no new homes are proposed on Lots 2 or 3. The request includes a rear yard setback modification and a perimeter wall modification to utilize an alternative fencing material where a masonry block wall is typically required. The subject site is located in the Single-Family Residential (R-1) Zone. This project is categorically exempt from California Environmental Quality Act per Sections 15303(a) (New Construction) and 15315 (Minor Land Divisions).

APPLICANT: Kevin McMinn, 30229 Kingsridge Drive, Rancho Palos Verdes, CA 90275

PRESENTED BY: Assistant Planner MacMorran

RECOMMENDED ACTION: Adopt resolution of approval subject to findings and conditions, and confirm that the project is exempt from CEQA requirements.

6. **VESTING TENTATIVE TRACT MAP NO. 78233/SITE PLAN REVIEW NO. 1209/ZONE VARIANCE NO. 245/HEIGHT VARIATION PERMIT NO.105**, a request for a Vesting Tentative Tract Map and Site Plan Review for the development of nine townhome units on a 23,418 square-foot lot located at 26016 Oak Street. The request includes a setback modification to allow for reduced front and rear yard setbacks, a Variance to allow for a reduced distance between buildings, and a Height Variation Permit for a new structure over 16 feet in height (proposed at 25 feet, 2 inches). This project is categorically exempt from the California

Environmental Quality Act per Guidelines Section 15332 (In-Fill Development). Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd., #B, Redondo Beach, CA 90278 (Developer).: A request for a Vesting Tentative Tract Map and Site Plan Review for the development of nine townhome units on a 23,418 square-foot lot located at 26016 Oak Street. The request includes a setback modification to allow for reduced front and rear yard setbacks, a Variance to allow for a reduced distance between buildings, and a Height Variation Permit for a new structure over 16 feet in height (proposed at 25 feet, 2 inches). This project is categorically exempt from the California Environmental Quality Act per Guidelines Section 15332 (In-Fill Development).

APPLICANT: Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Boulevard, #B, Redondo Beach, CA 90278

PRESENTED BY: Assistant Planner MacMorran

RECOMMENDED ACTION: Adopt resolution of approval subject to findings and conditions, and confirm that the project is exempt from CEQA requirements.

WRITTEN COMMUNICATIONS

7. COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS

SCHEDULED MATTERS

8. HOUSING RELATED ISSUES UPDATE – Presented by Planner Repp Loadsman

OTHER MATTERS

9. STAFF ITEMS – ANNOUNCEMENTS

10. PLANNING COMMISSIONER ITEMS

11. COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS

Tuesday, June 1, 2021, and Tuesday, June 15, 2021

12. ADJOURNMENT

The next regular meeting of the Planning Commission is scheduled for Monday, June 14, 2021, at 6:00 p.m.

Written materials distributed to the Planning Commissioners within 72 hours of the Planning Commission meeting are available for public inspection immediately upon distribution in the City Clerk's office at 24300 Narbonne Avenue, Lomita, CA 90717. In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting, you should contact the office of the City Clerk, (310) 325-7110 (Voice) or the California Relay Service. Notification 48-hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting.

Only comments directed to the Commission from the podium will be recognized. Comments directed to the audience or generated from the audience will be considered out of order. Any person may appeal all matters approved or denied by the Planning Commission to City Council within 30 days of receipt of notice of action

by the applicant. Payment of an appeal fee is required. For further information, contact City Hall at (310) 325-7110.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted not less than 72 hours prior to the meeting at the following locations: Lomita City Hall lobby and outside bulletin board, Lomita Parks and Recreation, and uploaded to the City of Lomita website http://www.lomita.com/cityhall/city_agendas/.

Dated Posted: May 6, 2021



Linda E. Abbott
Deputy City Clerk/Planning Secretary

**MINUTES
REGULAR MEETING
LOMITA PLANNING COMMISSION
MONDAY, MARCH 8, 2021**

1. OPENING CEREMONIES

a. Chair Cammarata called the meeting to order at 6:03 p.m. via teleconference pursuant to Governor Newsom's Executive Order N-29-20 issued on March 17, 2020.

b. Roll Call

Responding to the roll call by Deputy City Clerk Abbott were Commissioners Dever, Santos, Steinbach, Stephens, Thompson, Vice-Chair Graf, and Chair Cammarata. Also present were Assistant City Attorney Lauren Langer, Planning Intern James Dotson, and Interim Community and Economic Development Director Sheri Repp Loadsman.

PRESENT: COMMISSIONERS: Dever, Santos, Steinbach, Stephens, Thompson, Vice-Chair Graf, and Chair Cammarata

ABSENT: None

Chair Cammarata introduced newly appointed Commissioner Brenda Stephens, a longtime Lomita resident who has been a real estate agent for 31 years. She stated that she is excited to have been appointed to the Planning Commission.

2. ORAL COMMUNICATIONS

None

3. CONSENT AGENDA

a) **APPROVAL OF MINUTES:** February 8, 2021

RECOMMENDED ACTION: Approve minutes.

Vice-Chair Graf made a motion, seconded by Commissioner Steinbach, to approve the minutes of the February 8, 2021, Planning Commission meeting.

MOTION CARRIED by the following vote:

AYES: COMMISSIONERS: Dever, Steinbach, Thompson, Vice-Chair Graf, and Chair Cammarata

NOES: COMMISSIONERS: None

ABSENT: COMMISSIONERS: None

ABSTAIN: COMMISSIONERS: Santos, Stephens

- b) **RESOLUTION NO. 2021-03**, a resolution of the Planning Commission of the City of Lomita denying the Amendment to Conditional Use Permit No. 299 for a mixed-use project consisting of 8,108 square feet of commercial area and 20 townhouse units to convert Unit 3 and Unit 4 from an office condominium to a residential condominium for property located at 25024 Narbonne Avenue and 2154 250th Street in the C-G, Commercial General zone.

Chair Cammarata recused himself from discussion of this item due to the proximity of his business to the project site. He left the Zoom meeting.

Vice-Chair Graf wished to address the two office units with unpermitted kitchens.

Interim Community and Economic Development Repp Loadsman stated that gas lines had been run and one unit already has a range installed; it is now a code enforcement issue as no permits were pulled for those purposes. The two units were approved as offices, and while it is customary for offices to have kitchenettes, these instead have (or will soon have) functioning kitchens.

Commissioner Thompson made a motion, seconded by Commissioner Steinbach, to adopt Resolution No. 2021-03, without prejudice, denying the Amendment to Conditional Use Permit No. 299 for a mixed-use project consisting of 8,108 square feet of commercial area and 20 townhouse units to convert Unit 3 and Unit 4 from an office condominium to a residential condominium for property located at 25024 Narbonne Avenue and 2154 250th Street in the C-G, Commercial General zone.

In addition, staff was instructed to have any requests for modification returned to the Planning Commission as deemed appropriate.

The Planning Commission acknowledged that code enforcement action would be initiated to have the unauthorized kitchens removed from Unit 3 and Unit 4, or an application must be submitted requesting authorization.

MOTION CARRIED by the following vote:

AYES: COMMISSIONERS: Dever, Steinbach, Thompson, and Vice-Chair Graf
NOES: COMMISSIONERS: None
ABSENT: COMMISSIONERS: None
ABSTAIN: COMMISSIONERS: Santos, Stephens
RECUSED: COMMISSIONERS: Chair Cammarata

Chair Cammarata returned to the Zoom meeting.

PUBLIC HEARINGS

4. DISCUSSION AND CONSIDERATION OF ZONE TEXT AMENDMENT 2021-01 - THE COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT IS REQUESTING A ZONE TEXT AMENDMENT TO PERMIT A "BREW PUB" WITHIN THE COMMERCIAL RETAIL ZONE (C-R) SUBJECT TO A CONDITIONAL USE PERMIT.

Interim Community and Economic Development Director Repp Loadsman presented the staff report as per the agenda material.

Chair Cammarata opened the public hearing at 6:31 p.m. As there were no requests to speak on this item, Chair Cammarata closed the public hearing at 6:31 p.m. and brought the item back to the Commission for a motion.

Commissioner Steinbach made a motion, seconded by Commissioner Santos, that the Planning Commission recommend that the City Council adopt Resolution No. 2021-04 approving Zone Text Amendment No. 2021-01 and confirm the categorical exemption.

MOTION CARRIED by the following vote:

AYES: COMMISSIONERS: Dever, Santos, Steinbach, Stephens, Thompson, Vice-Chair Graf, and Chair Cammarata

NOES: None

WRITTEN COMMUNICATIONS

5. COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS

Interim Community and Economic Development Director Repp Loadsman stated that the Council has begun work on the City's annual budget. She added that the new Community and Economic Development Director, Greg Kapovich, will be starting on March 22, 2021.

SCHEDULED MATTERS

6. SELECTION OF CHAIR AND VICE-CHAIR FOR 2021 – 2022

Commissioner Steinbach made a motion, seconded by Commissioner Santos, to retain Chair Cammarata and Vice-Chair Graf as Chair and Vice-Chair for 2021-2022.

MOTION CARRIED by the following vote:

AYES: COMMISSIONERS: Dever, Santos, Steinbach, Stephens, Thompson, Vice-Chair Graf, and Chair Cammarata

NOES: None

7. HOUSING RELATED ISSUES UPDATE

Interim Community and Economic Development Director Repp Loadsman presented the update on new state housing mandates in preparation of the 6th Cycle Housing Element Update.

The Southern California Association of Governments has concluded all 52 appeals with only the City of Pico Rivera and the County of Riverside having any success in reducing their Regional Housing Needs Assessment (RHNA) allocation. As a result of the appeals, some redistribution occurred, and the City of Lomita received a minor increase in RHNA allocation from 827 to 829 housing units. The final RHNA allocation is as follows:

Income Level		4th Cycle RHNA Allocation by Income Level	5th Cycle RHNA Allocation by Income Level	6th Cycle RHNA Allocation by Income Level
Very Low	Deed Restricted	87	12	239
	Non-Deed Restricted			
Low	Deed Restricted	54	7	124
	Non-Deed Restricted			
Moderate	Deed Restricted	58	8	128
	Non-Deed Restricted			
Above Moderate		147	20	338
Total RHNA		346	47	829

Housing Elements are required to be adopted by local governments and submitted to the California Department of Housing and Community Development (HCD) no later than October 15, 2021. Lomita is working with Dudek, its housing consultant, to evaluate how best to address the increased demands for cities to demonstrate their ability to actually reach their RHNA targets. One of the results will be the need to identify sufficient sites to meet the 829 RHNA allocation. If the inventory demonstrates that there are insufficient sites to accommodate the RHNA for each income category, the inventory must identify sites for rezoning to be included in a housing element program to identify and make available additional sites to accommodate those housing needs early within the planning period. HCD will expect Lomita to identify 15-30% additional sites to provide a greater degree of certainty that the RHNA targets will be met.

A community workshop will be conducted in late April 2021. Staff will also set up a booth at the Farmer's Market the weekend before the community workshop to share information on the Housing Element and Safety Element updates and to encourage participation in the processes.

She urged the Planning Commission to complete the related surveys on the City's website and to read all relevant documents in preparation for the work ahead.

OTHER MATTERS

8. STAFF ITEMS – ANNOUNCEMENTS

- a. **Invitation to the South Bay Cities Council of Governments' 21st Annual General Assembly Virtual Conference, March 18, 2021, 9 a.m. to 4 p.m. Please register online by Thursday, February 18, 2021, at <https://sbccog.swoogo.com/home>.**

At this free event, the South Bay Council of Governments will “examine how understanding the interrelationships of the issues we mutually face is critical to our success. Panelists representing state/local government and private/public sectors will explore new ideas, solutions and perspectives, and discuss how other regions have responded to similar circumstances.”

b. Invitation for residents to participate in the Housing Element and Safety Element Survey at <http://www.lomita.com/cityhall/housing-element/housing-safety-survey.cfm>.

c. HdL Reports – 1) Issue Updates January 2021; and 2) City of Lomita Sales Tax Update (3rd Quarter 2020, July-September)

Interim Community and Economic Development Director Repp Loadsman stated that this report was included to keep the Planning Commission up to date on Lomita's financial health.

9. PLANNING COMMISSIONER ITEMS

Vice-Chair Graf asked if any progress has been made at the vacant grocery store location on Pacific Coast Highway. Interim Community and Economic Development Director Repp Loadsman stated that the property owner recently acquired the parking lot, which should make leasing a bit easier. The City will be working with the owner to try to attract a grocery store. The Housing Element update might actually help with this endeavor, as stores considering a new location look at the number of homes in the area.

Vice-Chair Graf stated that the Picerne project is underway in earnest, and that so far, they are doing a very good job regarding traffic impacts in that area.

Commissioner Thompson stated that there is a lot of activity at the Picerne project site, and that it is perhaps a blessing that students are working remotely so that they are not impacted by related dust, dirt, and noise.

Chair Cammarata stated that noise and traffic impacts at the Picerne project site have been well-managed.

Chair Cammarata stated that the graffiti at the 7-Eleven project site at Pacific Coast Highway and Cypress Street is still there. Interim Community and Economic Development Director Repp Loadsman stated that property responsibility was recently transferred to 7-Eleven corporate and its contractor, and the City will be reaching out to them soon.

Chair Cammarata remarked upon the recent fire at Element Outdoor on Lomita Boulevard. Interim Community and Economic Development Director Repp Loadsman stated that the cause has been identified and the property owner has been made aware of what needs to be done to correct the fire damage. The City will be working with Element Outdoor to assist them in getting back up to order. In addition, the City will be looking at some possible code enforcement issues at the site.

10. COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS

Commissioner Santos will attend the City Council meeting on Tuesday, April 6, 2021. Commissioner Steinbach will attend the Tuesday, April 20, 2021, City Council meeting.

11. ADJOURNMENT

There being no further business to discuss, the meeting was adjourned by Chair Cammarata at 7:24 p.m.

Attest:

Linda E. Abbott
Deputy City Clerk/Planning Secretary

DRAFT



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission May 10, 2021

FROM: James Dotson, Planning Intern

SUBJECT: Site Plan Review No. 1210
25356 Woodward Avenue in the R-1, Single-Family Residential Zone

APPLICANT'S REQUEST

A request to enclose an existing 400 square-foot open-air patio located at the rear of an existing 940 square-foot residence at 25356 Woodward Avenue. The subject site has a Single Family Residential (R-1) zoning designation but also contains a second residential unit, which was permitted prior to the incorporation of the City and the site is therefore considered a legal non-conforming multi-family use in a Single Family Residential (R-1) zone. Pursuant to the Municipal Code, proposed additions to non-conforming multi-family uses must be reviewed by the Planning Commission by way of a Site Plan Review. Filed by Alexander Petrakos, 100 W. Broadway, Suite 3000, Long Beach, CA 90802 (Applicant).

RECOMMENDATION

Staff recommends the Planning Commission approve the Site Plan Review to enclose the existing 400 square-foot patio and confirm the categorical exemption, subject to the conditions of approval contained in the draft resolution (Attachment 1).

ANALYSIS

Existing Conditions/Project Description

The 9,274 square-foot lot is comprised of two detached single-story residential dwelling units, one detached garage and one attached garage. The structures were permitted in 1950 and 1958, prior to the incorporation of the City and the current Zoning Ordinance, qualifying the two units as legal nonconforming, where typically one unit is allowed in the R-1 zone (note—accessory dwelling units are also now permitted in the zone, which makes this nonconforming to a lesser extent than under prior versions of the code). The subject of this review is the 940 square-foot front unit, which is closest to Woodward Avenue and is comprised of two bedrooms, one bathroom, an attached 400 square-foot patio, and a two-car detached garage. The applicant is requesting to enclose the 400 square-foot patio. According to the submitted floor plan, the conversion would create an enclosed habitable sunroom with two closets for storage.

Pursuant to Section 11-1.70.17(G) of the Lomita Municipal Code (LMC,) additions to nonconforming multiple-family residential uses and buildings must be approved by the Planning Commission pursuant to a Site Plan Review.

General Plan/Zoning

The General Plan designation for the subject property is Low-Density Residential, which is consistent with the underlying Single-Family Residential (R-1) zoning district. The low-density residential land use designation “applies to areas of the City which are developed with single family residential uses.” This property was developed and permitted as a multi-family use prior to designation of the site as a Low-Density, Single Family Residential (R-1) zoning district. Therefore, the existing multi-family use is considered legal non-conforming. The proposed project to enclose an existing 400 square-foot patio does not add any new units and therefore does not increase the existing non-conformity. With the exception of density, the project is consistent with the General Plan and underlying zoning district, as illustrated by the tables below. Additionally, with recent changes to state ADU law, single family lots are now permitted to have a separate accessory dwelling unit. So it is no longer an uncommon or totally unpermitted density in the R-1 zones.

Adjacent Zoning and Land Uses

Direction	Zone/Land Use
North	R-1 (Single-family residential) Land use: Single-family residence
South	R-1 (Single-family residential) Land use: Single-family residence
West	R-1 (Single-family residential) Land use: Single-family residence
East	R-1 (Single-family residential) Land use: Single-family residence

Development Standards Summary

The project has been reviewed with the applicable City Code requirements as follows:

Development Standard	Project	Allowed/Required	Compliance
Zoning	Multi-Family Residence	R-1	No*
Lot Size	9,274 square feet	5,000 square feet min.	Yes
Lot Width	52.8 feet	50 feet	Yes
Yards:			
Front -	20'-0"	20 feet min.	Yes
Side (N) -	16'-8"	5 feet min.	Yes
Side (S) -	5'-11"	5 feet min.	Yes
Rear -	105'-9"	20 feet min.	Yes

Development Standard	Project	Allowed/Required	Compliance
Off-Street Parking	Two-car garage	Two-car garage	Yes
Floor Area Ratio (FAR.)	0.32 (both units)	0.60 max.	Yes
Building Height	1 story/ 13'-4" feet	2 stories/27 feet max.	Yes

*Legal non-conforming, additions are allowed subject to a Site Plan Review

Environmental Determination

This proposed project is categorically exempt pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines. The existing facilities exemption consists of the operation, repair, maintenance, or minor alteration to existing public and private structures involving negligible or no expansion of use, including continuing legal non-conforming uses. The proposed project to enclose an existing 400 square-foot patio does not add any new units and therefore does not expand the multi-family use or increase the existing non-conformity.

The existing facilities exemption also includes minor additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition. In this case, the existing building is 940 square feet, allowing for a maximum increase of 470 square feet. The proposed project is 400 square feet, which is a 42.5 percent expansion and less than the maximum allowed, qualifying it for the categorical exemption.

Site Plan Review

Additions to nonconforming multiple family residential uses and buildings are subject to site plan review and approval by the Planning Commission. The following findings must be made by the Planning Commission under Section 11-1.70.07, "Site Plan Review".

- 1. The Site Plan complies with all applicable provisions of the Municipal Code.*

While the number of units on the subject site is considered legal non-conforming in the Single-Family Residential zoning district, the existing residence and proposed addition conforms to the minimum development standards typically outlined by the R-1 zoning district with respect to height, setbacks, floor area ratio, and parking. Therefore, the proposed project respects the established development patterns of neighboring properties in the area.

- 2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.*

The conversion of an existing patio into a sunroom would not impact traffic congestion, adversely affect the public's health, safety and general welfare, nor would it have adverse effects on neighboring properties. The addition does not increase the number of units provided on-site and therefore does not increase daily vehicle trips to the site. The existing 400 square feet would be converted from an open-air patio to a habitable enclosed sunroom. There will be no changes to the existing setbacks, which comply with the minimum standards outlined by the R-1 zoning district. The existing 940 square-foot residence will be expanded to 1,340 square feet, which would be typical of neighboring homes and suitable for the area.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type or architecture.*

The design of the project is suitable and functional for the surrounding neighborhood. The proposed addition will be developed within all required setbacks and height limitations. The addition results in a new floor area ratio of 0.32, maintaining compliance with the maximum allowed of 0.60. The structure of the proposed project will continue to be consistent with the form and scale of surrounding single-family homes.

Public Notice

Notices of this hearing dated April 29, 2021 were mailed to property owners within a 300-foot radius from the subject property, posted at City Hall, and at Lomita Park.

COMMISSION ACTION REQUESTED

Move to adopt the draft resolution, thereby approving Site Plan Review No. 1210, as presented (or amended) subject to conditions.

Recommended by:



Greg Kapovich
Community and Economic Development Director

Prepared by:



James Dotson
Planning Intern

Exhibits:

1. Resolution
2. Vicinity Map
3. Zoning Map
4. General Plan Map
5. Aerial Photograph
6. Notice of Exemption
7. Site Plan, Floor Plan, Elevations

DRAFT
LOMITA PLANNING COMMISSION
RESOLUTION NO. #####
SITE PLAN REVIEW NO. 1210
25356 WOODWARD AVENUE

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING SITE PLAN REVIEW NO. 1210 A REQUEST TO ENCLOSE AN EXISTING 400 SQUARE-FOOT OPEN-AIR PATIO LOCATED AT THE REAR OF AN EXISTING 940 SQUARE-FOOT RESIDENCE AT 25356 WOODWARD AVENUE. FILED BY ALEXANDER PETRAKOS, 100 W. BROADWAY, SUITE 3000, LONG BEACH, CA 90802 (APPLICANT).

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals.

- A. On May 10, 2021, the Planning Commission of the City of Lomita held a public hearing to consider a request to enclose an existing 400 square-foot open-air patio located at the rear of an existing 940 square-foot residence at 25356 Woodward Avenue. Filed by Alexander Petrakos, 100 W. Broadway, Suite 3000, Long Beach, CA 90802.
- B. The subject site has a General Plan Designation of Low-Density Residential and a Single Family Residential (R-1) zoning district but also contains a second residential unit. The second unit was permitted prior to incorporation of the City and the site is therefore considered a legal non-conforming multi-family use in a Single Family Residential (R-1) zone.
- C. Pursuant to Section 11-1.70.17(G). of the Lomita Municipal Code (Code), additions to nonconforming multiple-family residential uses and buildings are subject to site plan review and approval by the Planning Commission.
- D. Public hearing notices for the project were mailed to property owners within 300 feet of the property at least 10 days prior to the scheduled hearing.
- E. The Planning Commission held a public hearing, accepted testimony, and the public hearing was then closed.

Section 2. Findings. The project is subject to Site Plan Review findings in the Lomita Municipal Code, Section 11-1.70.07 (Site Plan Review). Required findings, below, are shown in **bold** type and the reason(s) the project is consistent is shown in regular type. The Planning Commission of the City of Lomita finds, after due study and deliberation that the following circumstances exist:

1. The Site Plan complies with all applicable provisions of this Title;

While the number of units on the subject site is considered legal non-conforming in the Single-Family Residential zoning district, the existing residence and proposed addition conforms to the minimum development standards typically outlined by the R-1 zoning district with respect to height, setbacks, floor area ratio, and parking. Therefore, the proposed project respects the

established development patterns of neighboring properties in the area and encloses an existing portion of the structure.

- 2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan;**

The conversion of an existing patio into a sunroom would not impact traffic congestion, adversely affect the public's health, safety and general welfare, nor would it have adverse effects on neighboring properties. The addition does not increase the number of units provided on-site and therefore does not increase daily vehicle trips to the site. The existing 400 square feet would be converted from an open-air patio to a habitable enclosed sunroom. There will be no changes to the existing setbacks, which comply with the minimum standards outlined by the R-1 zoning district. The existing 940 square-foot residence will be expanded to 1,340 square feet, which would be typical of neighboring homes and suitable for the area.

- 3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type or architecture;**

The design of the project is suitable and functional for the surrounding neighborhood. The proposed addition will be developed within all required setbacks and height limitations. The addition results in a new floor area ratio of 0.32 for the entire site (both residential units), maintaining compliance with the maximum allowed of 0.60. The structure of the proposed project will continue to be consistent with the form and scale of surrounding single-family homes.

- 4. This project is categorically exempt pursuant to the California Quality Act (CEQA), Section 15301: Existing Facilities. The existing facilities exemption includes operation, repair, maintenance, or minor alteration to existing public and private structures involving negligible or no expansion of use, including continuing legal non-conforming uses. The proposed project to enclose an existing 400 square-foot patio does not add any new units and therefore does not expand the multi-family use or increase the existing non-conformity. The existing facilities exemption also includes minor additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition. In this case, the existing building is 940 square feet, allowing for a maximum increase of 470 square feet. The proposed project is 400 square feet, which is a 42.5 percent expansion and less than the maximum allowed, qualifying it for the categorical exemption.**
- 5. Based on the evidence presented at the meeting, the Planning Commission hereby resolves that this Commission makes the findings as outlined under Section 11-1.70.07 (Site Plan Review) of the Lomita Municipal Code for the reasons stated in numbers 1. through 4. above.**

Section 3. Decision. Based on the findings set forth above, the Planning Commission of the City of Lomita hereby grants approval of Site Plan Review No. 1210, subject to the following conditions:

SITE PLAN REVIEW CONDITIONS

1. The property shall be developed substantially the same as shown on the plans dated December 28, 2020, (“Exhibit A”) on file with the Planning Division as Site Plan Review No. 1210. The project shall conform to Exhibit A, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community and Economic Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structure.
2. Building permits must be issued, or a request for an extension must be filed with the Community & Economic Development Department by May 10, 2023, and subsequently approved by the Planning Commission, or this approval will become null and void on that date. No extension shall be considered unless requested prior to the expiration date.
3. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
4. Prior to issuance of building permits, the applicant shall sign a letter agreeing to the conditions of approval within this resolution.
5. By commencing any activity related to the project or using any structure authorized by this permit, the Applicant accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
6. The applicant shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
7. The final building plans submitted by the Applicant with the building permit application shall depict all building materials and colors to be used in construction.
8. If the applicant, owner or tenant fails to comply with any of the conditions of this permit, the applicant, owner or tenant shall be subject to a civil fine pursuant to the City Code.
9. Prior to issuance of building permits, the applicant shall correct any violations of the City Code existing on the project property.
10. Applicant agrees, as a condition of adoption of this resolution, at Applicant’s own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process.
11. Final inspection by staff shall not be granted until all conditions of approval have been met and verified by staff.
12. Prior to the issuance of building permits, the applicant shall include a reproduction of all

conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.

13. Applicant shall provide for dust control at all times during project property preparation and construction activities.
14. Applicant shall not store construction materials or vehicles outdoors on the project property.
15. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
16. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute or ordinance is violated, the permit shall be suspended and the privileges granted hereunder shall lapse. The Applicant shall have been provided written notice to cease such violations and have failed to comply for a period of thirty days.
17. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
18. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of May 2021 by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
RECUSE: Commissioners:

Steven Cammarata, Chairperson

ATTEST: _____
Greg Kapovich
Community and Economic Development Director

Within 30 days of the date of this action, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council. (Gov. Code § 66452.5(a).)

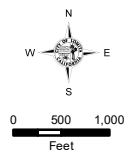
Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

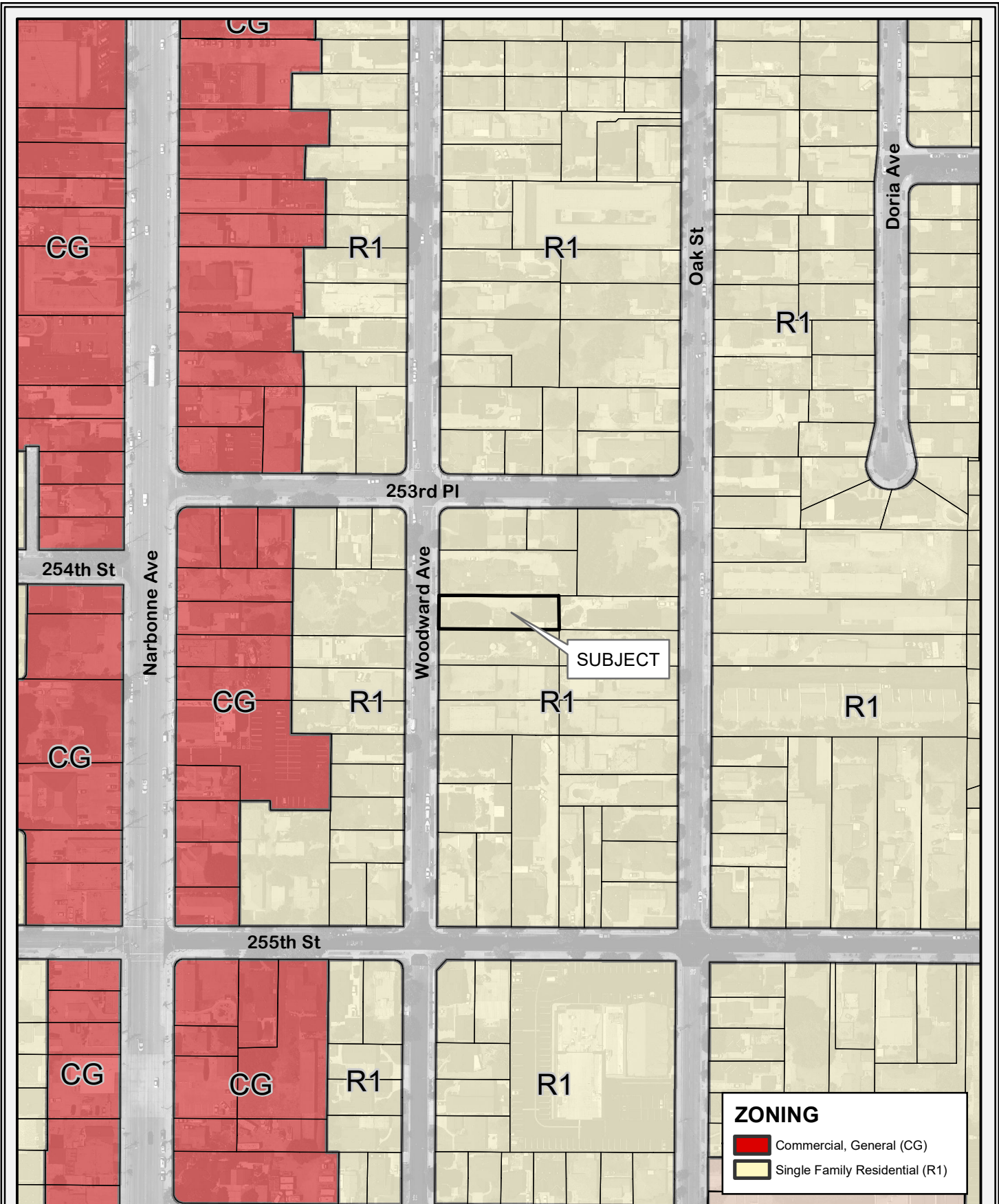


Site Plan Review No. 1210
25356 Woodward Avenue
Exhibit B



Community Development
 April 2021

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/25356Woodward_vty.mxd





ZONING

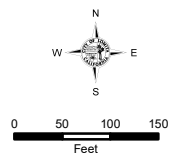
-  Commercial, General (CG)
-  Single Family Residential (R1)

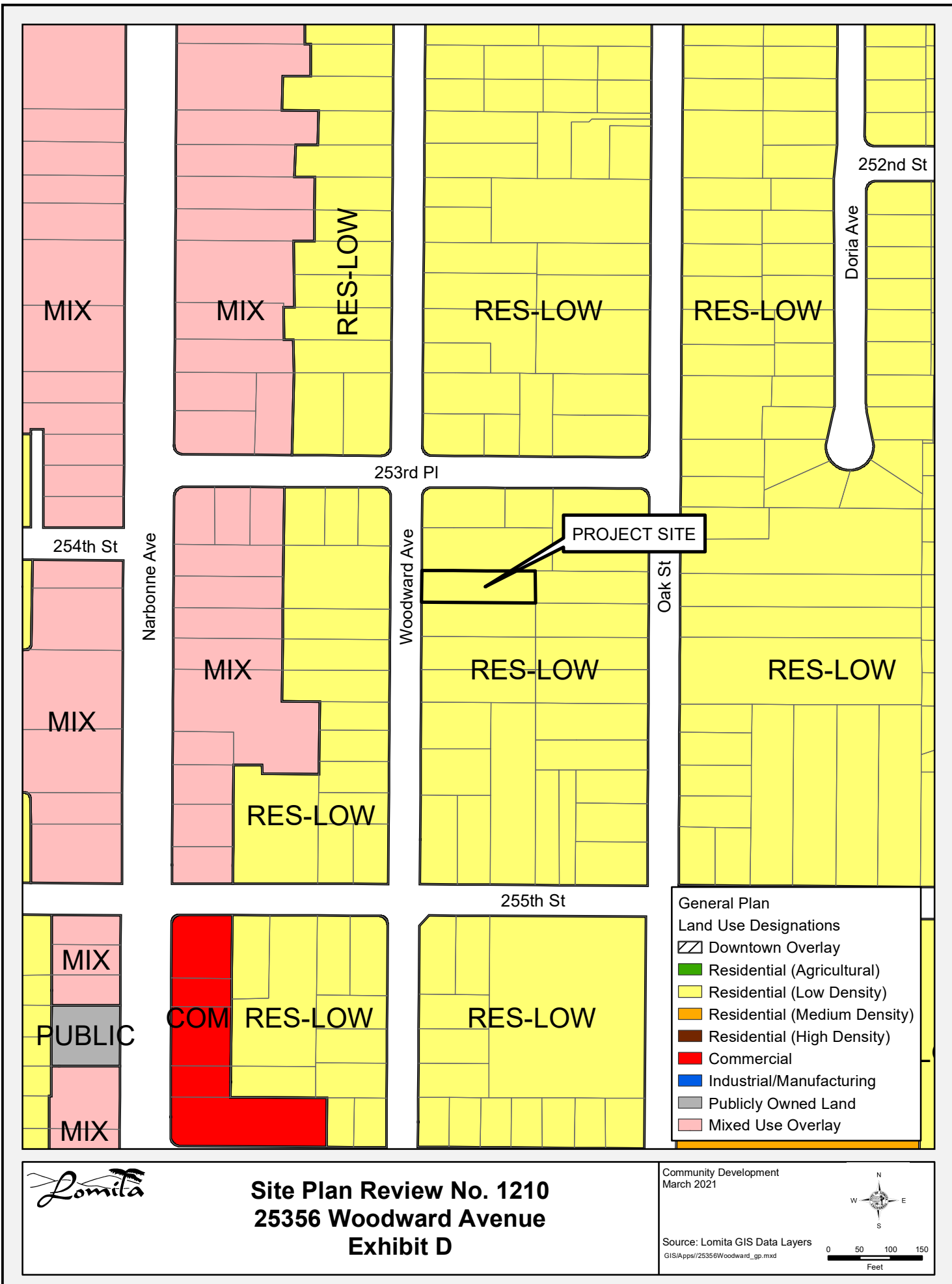


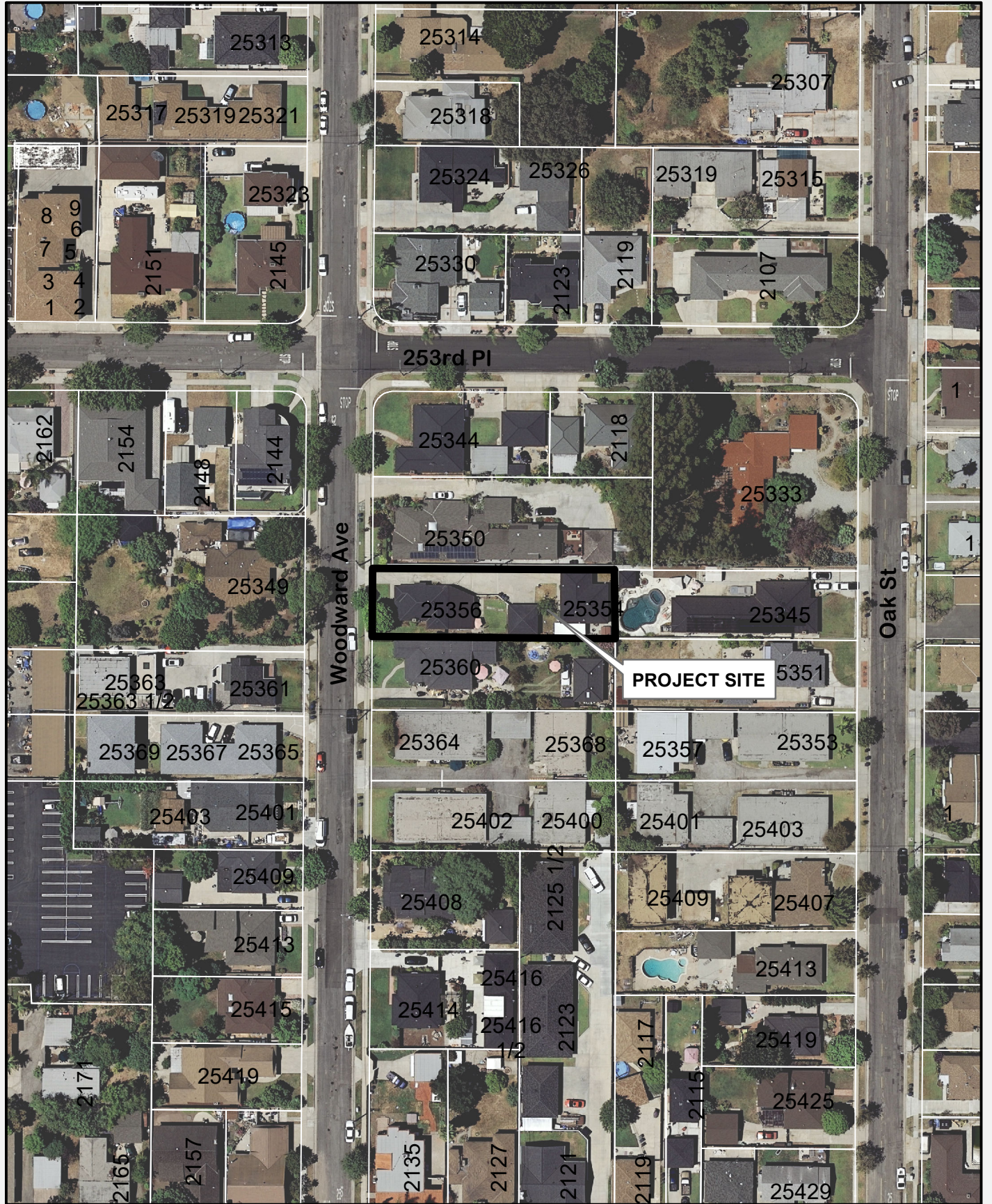
Site Plan Review No. 1210
25356 Woodward Avenue
Exhibit C

Community Development
April 2021

Source: Lomita GIS Data Layers
/Apps/25356Woodward_zon.mxd



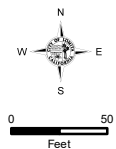




**Site Plan Review No. 1210
25356 Woodward Avenue
Exhibit E**

Community Development
April 2021

Source: Lomita GIS Data Layers
/Apps/25356Woodward_aer.mxd





**Community & Economic
Development Department
Planning Division
24300 Narbonne Avenue
Lomita, CA 90717
310/325-7110**

NOTICE OF EXEMPTION

Project Description:

Site Plan Review No. 1210 – A request to enclose an existing 400 square-foot open-air patio located at the rear of an existing 940 square-foot residence at 25356 Woodward Avenue. Filed by Alexander Petrakos, 100 W. Broadway, Suite 3000, Long Beach, CA 90802 (Applicant).

Finding:

The Planning Division of the Community & Economic Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

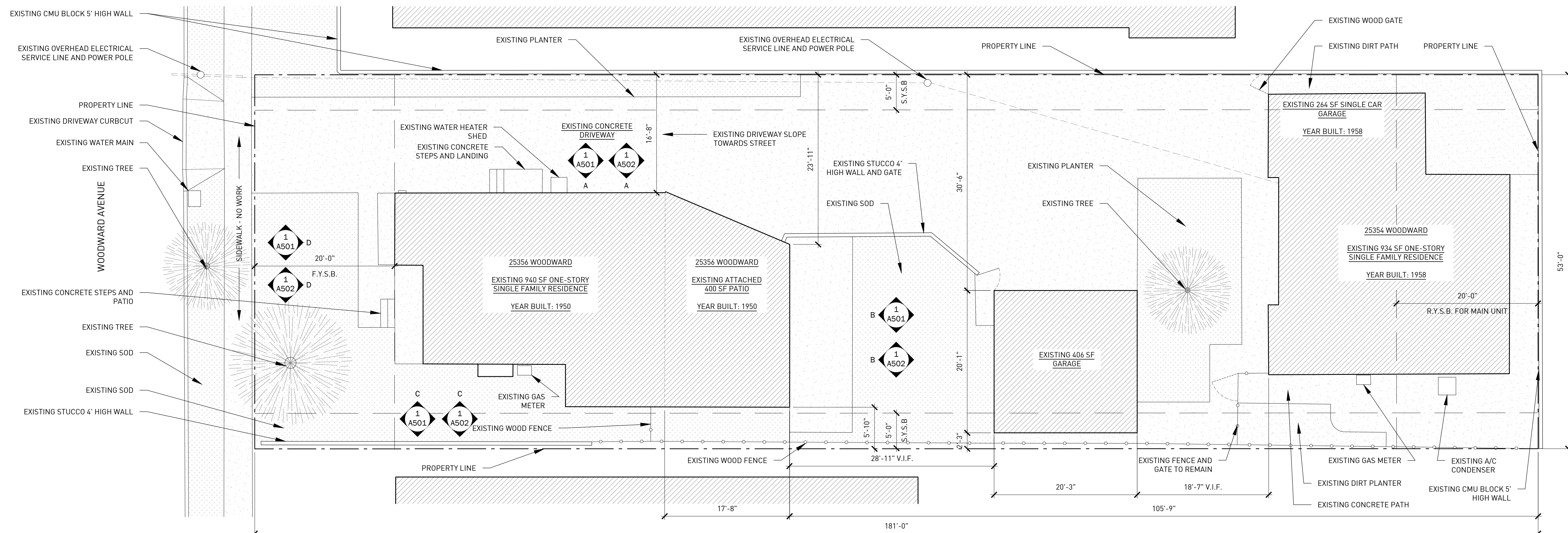
- Ministerial Project
- Categorical Exemption (CEQA Guidelines, Section 15301 Existing Facilities)
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

Supporting Reasons: This proposed project is categorically exempt pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines. The existing facilities exemption consists of the operation, repair, maintenance, or minor alteration to existing public and private structures involving negligible or no expansion of use, including continuing legal non-conforming uses. The proposed project to enclose an existing 400 square-foot patio does not add any new units and therefore does not expand the multi-family use or increase the existing non-conformity. The existing facilities exemption also includes minor additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition. In this case, the existing building is 940 square feet, allowing for a maximum increase of 470 square feet. The proposed project is 400 square feet, which is a 42.5 percent expansion and less than the maximum allowed, qualifying it for the categorical exemption. Therefore, the Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment.

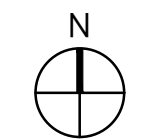
(Date)

Greg Kapovich
Community and Economic
Development Director

Attachment 7



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



CLIENT:
GWEN PEARSON
25356 WOODWARD AVENUE
LOMITA, CA 90717
CONTACT:
GWEN PEARSON
310-625-1468
--

DESIGNER:
ALLIED PROJECTS INC.
100 W BROADWAY, STE. 3000
LONG BEACH, CA 90802
CONTACT:
ALEXANDER PETRAKOS
323-682-3320
--

PROJECT TITLE:
PEARSON RESIDENCE
25356 WOODWARD AVENUE
LOMITA, CA 90717

DRAWING TITLE
EXISTING SITE PLAN

SHEET

A111

DATE	ISSUANCE	REV#

CLIENT:

GWEN PEARSON
25356 WOODWARD AVENUE
LOMITA, CA 90717
CONTACT:
GWEN PEARSON
310-625-1468
--

DESIGNER:

ALLIED PROJECTS INC.
100 W BROADWAY, STE. 3000
LONG BEACH, CA 90802
CONTACT:
ALEXANDER PETRAKOS
323-882-3320
--

PROJECT TITLE:

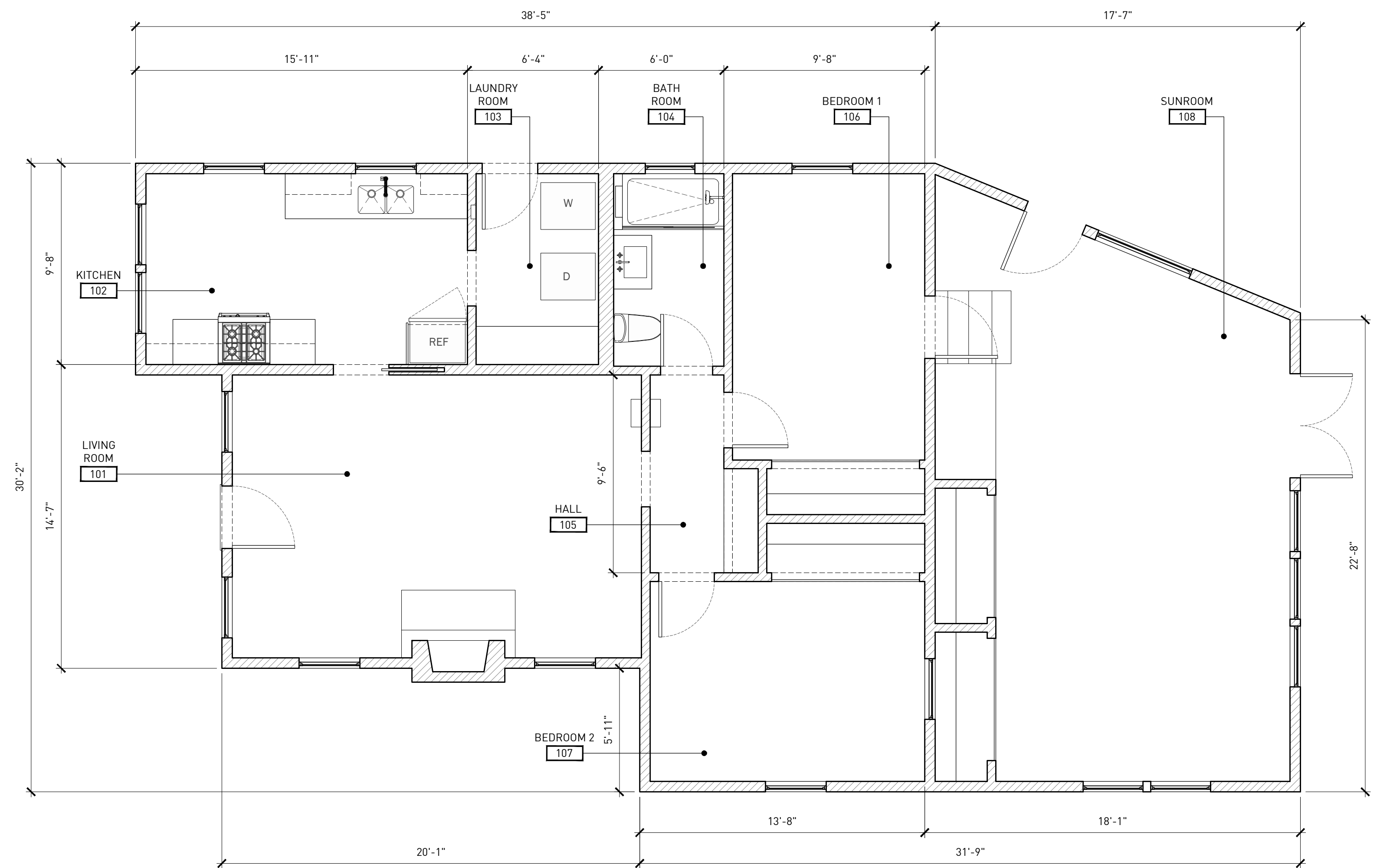
PEARSON RESIDENCE
25356 WOODWARD AVENUE
LOMITA, CA 90717

DRAWING TITLE

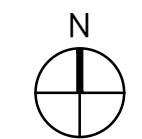
**FLOOR PLANS -
PLANNING
REVIEW**

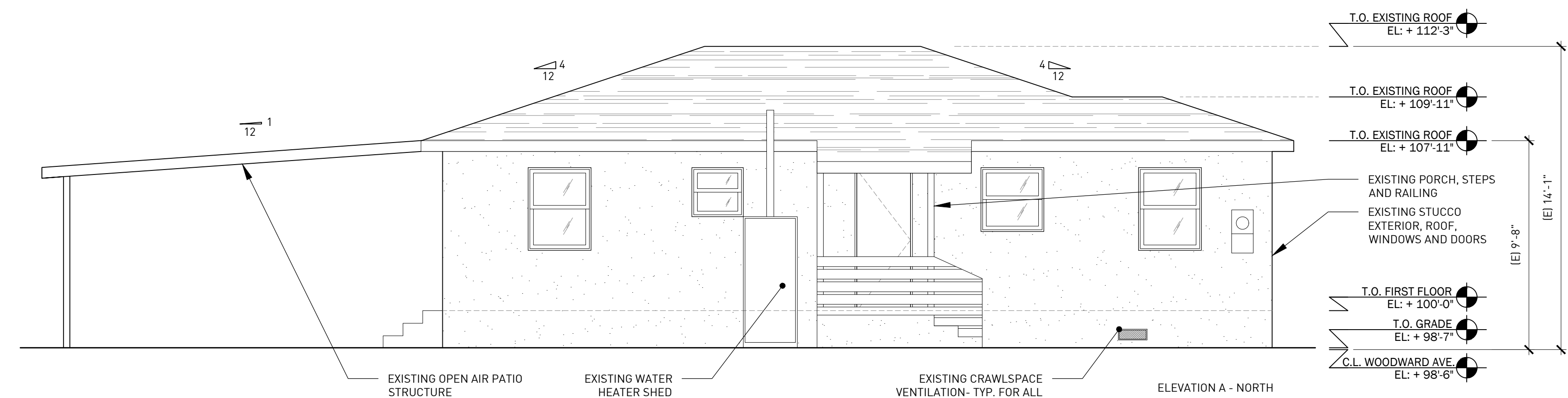
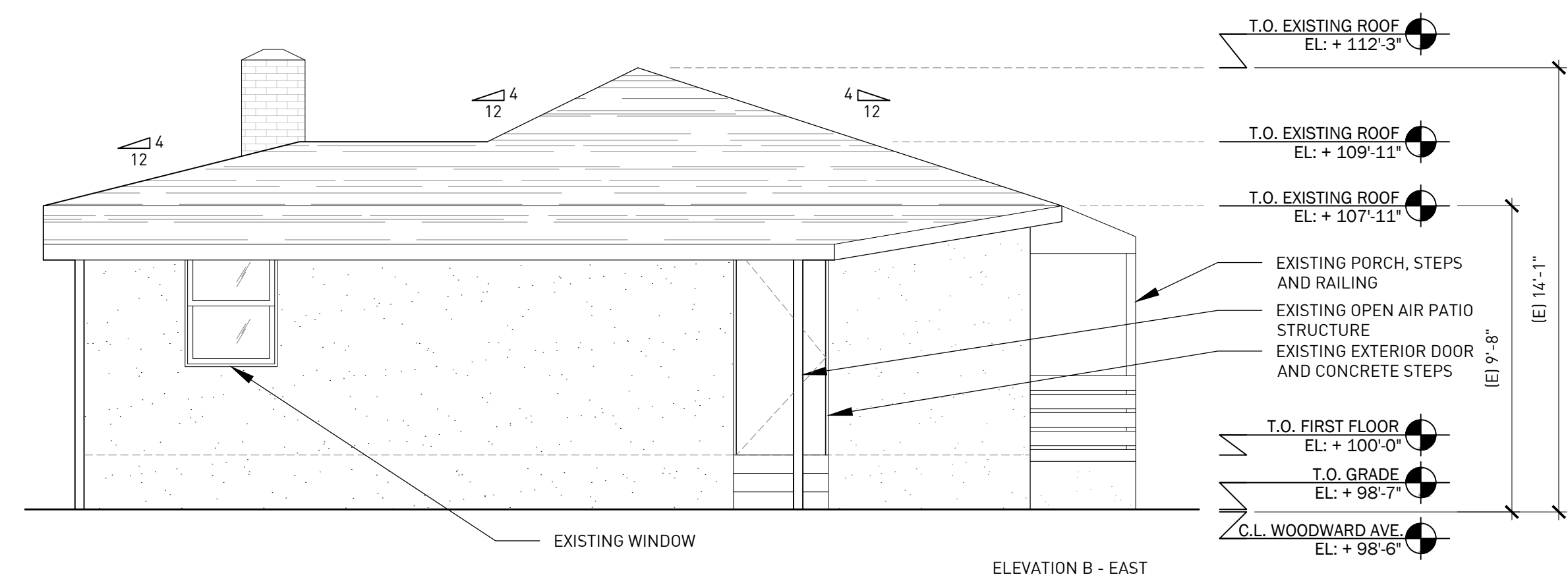
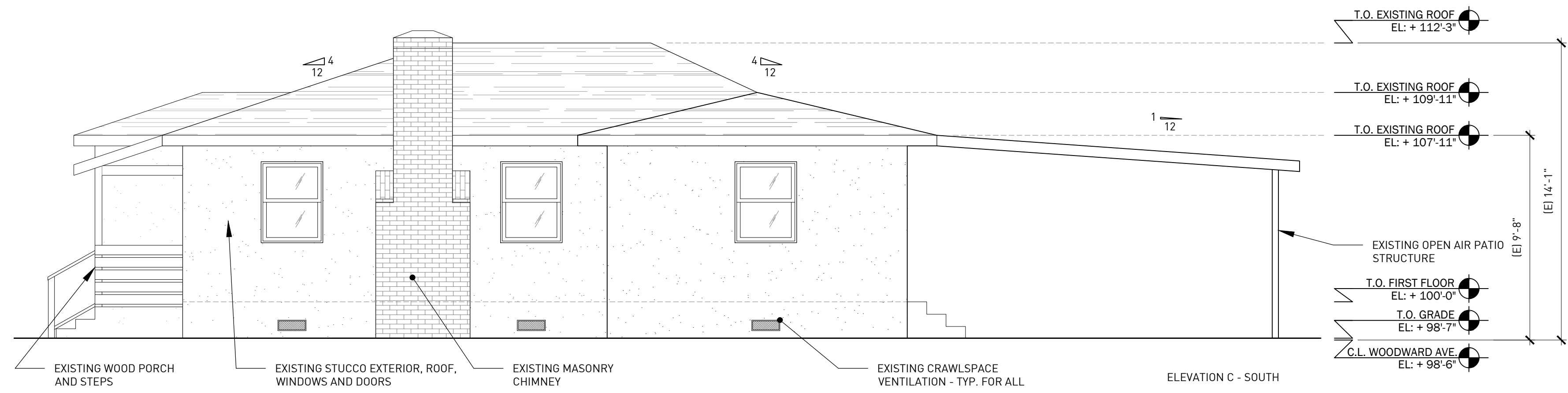
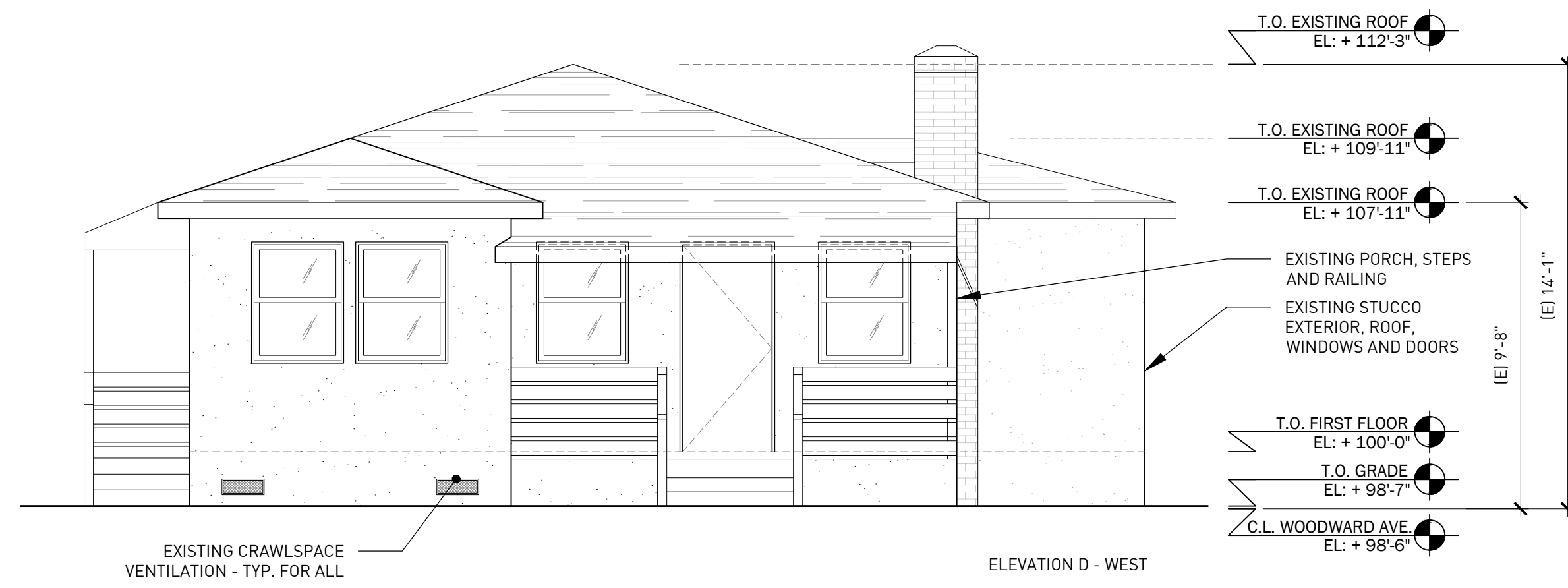
SHEET

A112



25356 WOODWARD
1 FLOOR PLAN
SCALE: 1/4" = 1'-0"





EXISTING EXTERIOR ELEVATIONS
1 SCALE: 1/4" = 1'-0"

CLIENT:
 GWEN PEARSON
 25356 WOODWARD AVENUE
 LOMITA, CA 90717
 CONTACT:
 GWEN PEARSON
 310-625-1468

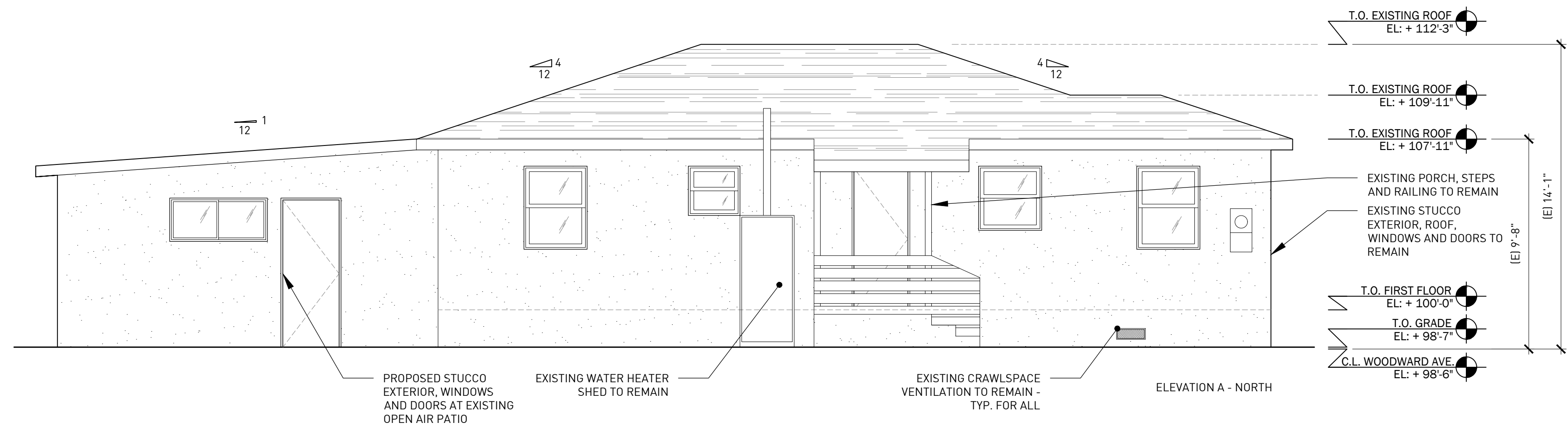
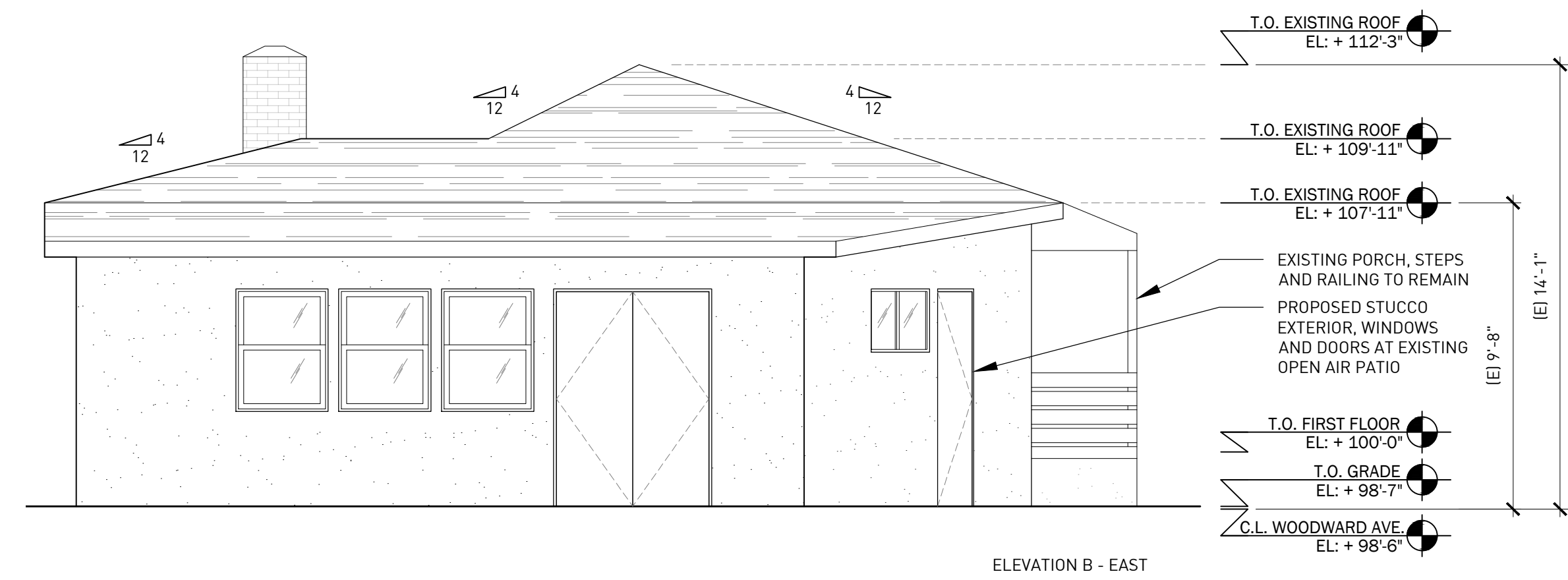
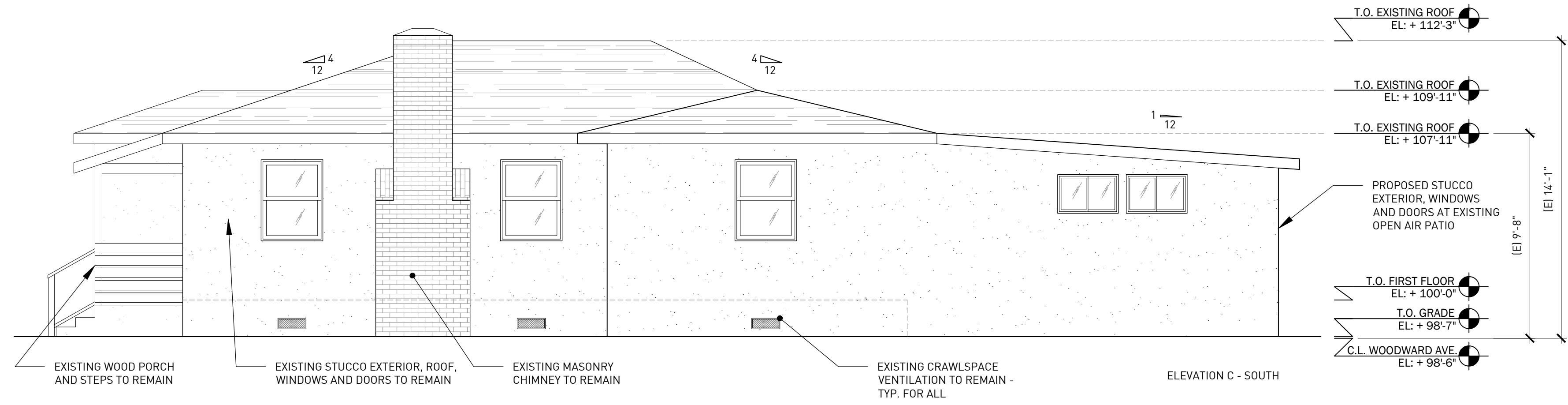
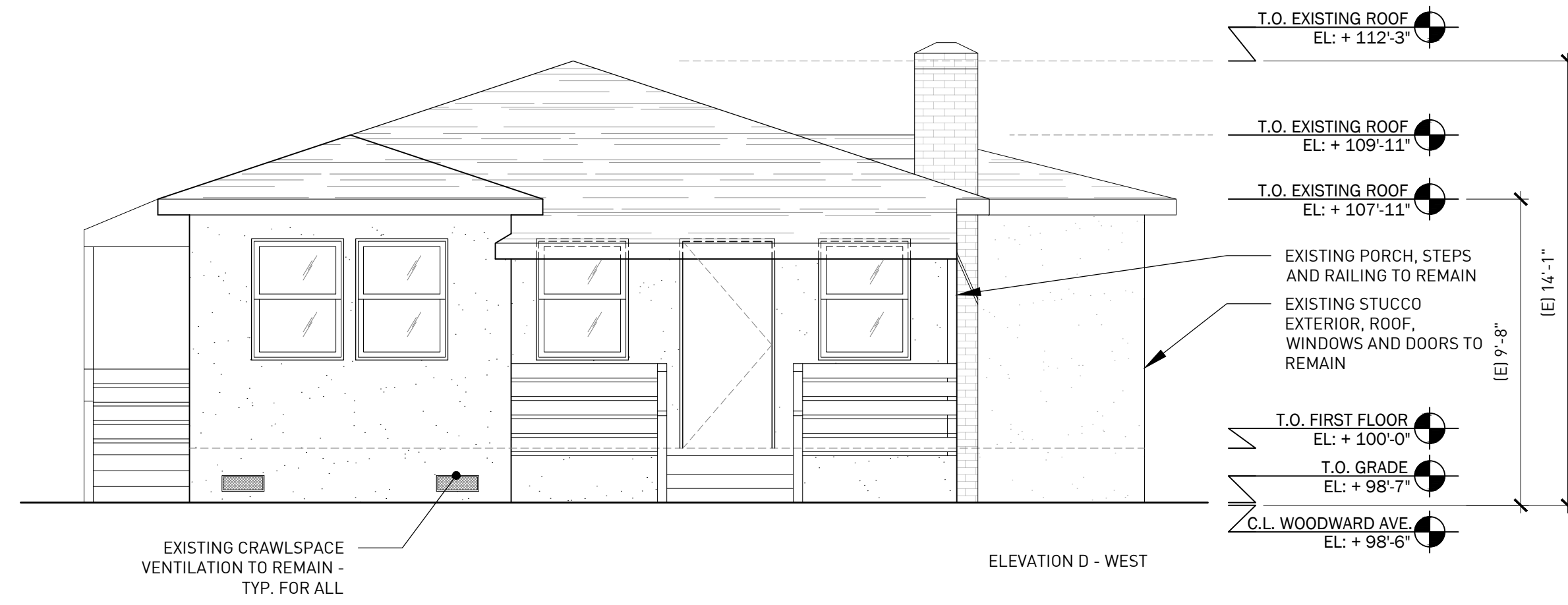
DESIGNER:
 ALLIED PROJECTS INC.
 100 W BROADWAY, STE. 3000
 LONG BEACH, CA 90802
 CONTACT:
 ALEXANDER PETRAKOS
 323-682-3320

PROJECT TITLE:
 PEARSON RESIDENCE
 25356 WOODWARD AVENUE
 LOMITA, CA 90717

DRAWING TITLE
EXISTING EXTERIOR ELEVATIONS

SHEET

A501



1 PROPOSED EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

CLIENT:
GWEN PEARSON
25356 WOODWARD AVENUE
LOMITA, CA 90717
CONTACT:
GWEN PEARSON
310-625-1468

DESIGNER:
ALLIED PROJECTS INC.
100 W BROADWAY, STE. 3000
LONG BEACH, CA 90802
CONTACT:
ALEXANDER PETRAKOS
323-682-3320

PROJECT TITLE:
PEARSON RESIDENCE
25356 WOODWARD AVENUE
LOMITA, CA 90717

DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET

A502



**CITY OF LOMITA
PLANNING COMMISSION REPORT**

TO: Planning Commission

May 10, 2021

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Site Plan Review No. 1211 and Vesting Tentative Parcel Map No. 83029
26275 Appian Way in the Single-Family Residential (R-1) Zone

APPLICANT'S REQUEST

The applicant is requesting a Vesting Tentative Parcel Map to subdivide a 23,200 square-foot single family residential lot into three new lots at 26275 Appian Way. The project also includes a Site Plan Review to construct a single-family residence on Lot 1 only. At this time, no new homes are proposed on Lots 2 or 3. The request includes a rear yard setback modification for Lot 1 and a perimeter wall modification to utilize a wood/vinyl fence where a block wall is typically required. The subject site is located in the Single-Family Residential (R-1) Zone. This project is categorically exempt from California Environmental Quality Act per Sections 15303(a) and 15315. Filed by Kevin McMinn, 30229 Kingsridge Drive, Rancho Palos Verdes, CA 90275 ("Applicant")

RECOMMENDATION

Staff recommends the Planning Commission adopts the resolutions to approve Site Plan Review No. 1211 and provide a formal positive recommendation that the City Council approves, Vesting Tentative Parcel Map (VTPM) No. 83029, and the corresponding CEQA Categorical Exemption, subject to the conditions of approval contained in the attached draft resolutions (Attachments 1 and 2).

BACKGROUND

New development in the Single Family Residential (R-1) zone is limited to an overall height of 27 feet. However, properties located south of Pacific Coast Highway require a Height Variation Permit for any structure with a height in excess of 16 feet. The intent is not to further limit overall height below 16 feet but rather to ensure project design preserves existing views on the hilly terrain typically found south of PCH.

The applicant originally intended to build single-family dwellings on all three proposed new lots. The original proposal included a design in which the overall height of the homes on Lots 2 and 3 were greater than 16 feet. As such, the applicant previously applied for a Height Variation Permit, which are first subject to administrative review by the Director of Community and Economic Development. Notices are sent to the surrounding community and if more than 5% of the neighbors oppose the proposed height, then the request is elevated to the Planning Commission for review.

Staff received more than 5% of qualified objections and as a result, the applicant is reconsidering the home designs on Lot 2 and Lot 3. In the meantime, the applicant would like to proceed with the subdivision to create the three lots and to locate one single family residence on Lot 1. The home on Lot 1 was designed with a maximum height of 16'0" above the average natural grade and can therefore be reviewed without a height variation permit. The applicant will be subject to additional review for final design considerations of any proposed single-family residences on Lots 2 and 3.

Prior to submission to the Planning Commission, the project received the following recommendations and approvals.

1. On April 21, 2021, the City of Lomita's consulting engineer, Quantum Quality Consulting recommended approval of Vesting Tentative Parcel Map No. 83029, subject to the public hearing process.
2. On September 29, 2020, the County of Los Angeles Fire Department recommended project approval, subject to the public hearing process.

Existing Conditions

The subject property is a 23,200 square-foot, five-sided hillside lot. The property is currently vacant but formerly contained an uninhabitable single-family home and an accessory structure, both of which no longer exist on the site. Though the property's address is on Appian Way, it does not have frontage on Appian Way.

Property History: 26275 Appian Way (APN: 7549-001-035)

26275 Appian Way is a portion of Lot 21. In 1956, most of Lot 21 was subdivided (Tract Map No. 21798) and created Ober Avenue, part of Guyson Street, and the lots due south of the property up to 262nd Street.

In the early 1970s, the westerly portion of 26275 Appian Way was sold and the parcel known as 26235 Ober Avenue was created.

Property History: 26235 Ober Avenue (APN: 7549-004-034)

A single-family home is located at 26235 Ober Avenue. It is an approximate 7,400 square foot parcel that was created by a grant deed, rather than through a subdivision map process.

In 1978, a Certificate of Compliance to the subdivision law requirements was recorded. Also in 1978, an Irrevocable Offer of Dedication (Exhibit I) was recorded dedicating a portion of the lot to the City and a slope easement for a public road. The City foresaw 26275 Appian Way's eventual redevelopment and City records contained the design for a cul-de-sac (Exhibit J). 26235 Ober Avenue is separately owned and only involved because of Ober Avenue's future street development and dedication.

ANALYSIS

General Plan Designation

The General Plan designation for the subject property is Low-Density Residential. The Low-Density Residential designation "*applies to areas of the City which are developed with single-family residential uses.*" The proposed three-lot development will have a density of 7 units per acre. This

calculation omits the lots' right-of-way dedication area. The proposed seven units per acre falls within the range and is consistent with the Low-Density Residential land use designation density of 5.8 to 8.71 units per acre.

Zoning Designation

The zoning designation for the subject property is R-1 (Residential, Single-Family). The R-1 Zone is established to create one-family dwelling areas with minimum lot areas of 5,000 square feet. The three proposed single-family residential lots range in size from 5,300 square feet to 8,250 square feet, which is consistent with the minimum lot size established by the R-1 zoning district.

Adjacent Zoning and Land Uses

The subject property is surrounded by R-1 zoned properties.

North	R-1 (Residential, Single Family) Land use: Single-family dwelling
South	R-1 (Residential, Single Family) Land use: Single-family dwelling
West	R-1 (Residential, Single Family) Land use: Oil/Gas Line
East	R-1 (Residential, Single Family) Land use: Single-family dwelling

Vesting Tentative Parcel Map

In April of 2021, the City's consulting engineer, Quantum Engineering, finalized their review and recommended approval of VTPM No. 83029 with conditions. The City Public Works and Engineering staff also reviewed the parcel map. The County of Los Angeles Fire Department's Land Development Division reviewed the parcel map and site plan. They recommend that this project be approved and proceed with the public hearing process.

The project has been reviewed in accordance with Article 4 (Design) of Chapter 2 (Division of Land) of Title IX of the LMC as follows:

Development Standard	Project	Allowed/Required	Compliance
Street Alignment/ Frontage (Sec. 11-2.156)	Lot 1: 44.12' Lot 2:40.5' Lot 3: 40.95' 26235 Ober Ave.: 40'	Min. 40 feet of frontage/lot	Yes
Street Grades (Sec. 11-2.157)	10%	Min Street Grade .04% and Max. Street Grade 10%	Yes
Cul-de-sac Street Design (Sec. 11-2.162)	Conforms to City's Specifications	Provide Adequate Turning Radius	Yes
Lot Design (Sec.11-2.171)	Lot 1:5,300 sf Lot 2 5,960 sf	Area: 5,000 sf min. Frontage: 40' min.	Yes

Development Standard	Project	Allowed/Required	Compliance
	Lot 3: 8,250 sf		

The proposed tentative parcel map to subdivide one existing lot into three new single family residential lots is in conformance with Section 11-2.116 of the Lomita Municipal Code and the City’s General Plan.

Circulation and Access

Though this property has an Appian Way address, it does not have frontage on Appian Way. The three proposed lots will all have frontage and gain access from Ober Avenue. Presently, Ober Avenue is effectively a street segment with a slight flare at the end of the street to accommodate the planned cul-de-sac. As part of the development, a cul-de-sac with a five-foot wide sidewalk will be created, thus completing the design originally envisioned by city officials in the 1970’s. The City’s Public Works Department has reviewed and supports the cul-de-sac’s design.

Findings

Pursuant to California Government Code Section 66410 et seq., Section 66412.3, (Subdivision Map Act), Section 11-2.116 of the Lomita Municipal Code, and the City’s General Plan, based on the entire record before the Planning Commission and all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

1. *The proposed subdivision is designed, to the extent feasible, to provide for passive or natural heating or cooling opportunities.* (See Gov. Code Section 66473.1.)

The design of the subdivision creates a five-foot wide parkway in which street trees will be planted between driveway aprons and in turn they will keep adjoining paved surfaces cool. It also ensures that a dedicated planting space exists in perpetuity. Finally, the lots and homes are orientated east-west and will capture the ocean’s westerly breezes.

2. *The proposed subdivision and the provisions for its design and improvement are consistent with the general plan for the City of Lomita ("General Plan"),* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site has a General Plan Land Use Designation of Low Density Residential and the proposed single-family project is compatible with the surrounding uses, which consist of single-family dwellings. The site is physically suitable for the density of development. The site has a density of 7 dwelling units per acre which is consistent with the General Plan’s development density of 5.8 to 8.71 units per acre.

3. *The Subject Site is physically suitable for the type and density of development proposed in the Tentative Tract.* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed three single-family lots with a minimum of 5,000-square-foot apiece. The development will have pedestrian and vehicular accessibility via a new cul-de-sac extending Ober Avenue. The proposed development requires two parking spaces within an enclosed garage for each unit and a home with five or more bedrooms must have an additional unenclosed parking space, which can be in the driveway. The project design meets the required parking standards and promotes safe and convenient pedestrian and vehicular circulation. The proposed grade will not exceed 10%.

4. *The subdivision design and improvements proposed in the Tentative Parcel Map are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The subject property is a hillside parcel. There are several mature trees that provide canopy coverage. None of the existing urban introduced landscaping is a candidate for sensitive or special status species. The project would not significantly impact wildlife or wildlife habitat. A condition of approval has been included to require the removal of existing trees outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

5. *The subdivision design and type of improvements proposed in the Tentative Parcel Map are not likely to cause serious public health problems because all development and public improvements will be performed per the requirements of all applicable standards and codes, including the zoning and building codes. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The site is physically suitable for the type of development. The project meets all the required development standards as shown in the approved plans associated with Site Plan Review No. 1211.

6. *The subdivision design and type of improvements proposed in the Tentative Map will not conflict with easements acquired by the public at large for access through or use of the Subject Site. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the tract map. The extension of Ober Avenue (a public street) will make the existing easement to 26235 Ober Avenue unnecessary.

7. *The discharge of waste into an existing sewer system from development proposed in the Tentative Map will not cause a violation of existing requirements prescribed by the local water quality control board. (See Gov. Code Section 66474.6.)*

The design of the subdivision will discharge waste into an existing community sewer system and will not result in violation of existing requirements prescribed by Los Angeles Regional Water Quality Control Board per Division 7 of the Water Code.

8. *The subdivision and improvements proposed in the Vesting Tentative Parcel Map help the City of Lomita meet its regional housing needs. (See Gov. Code Section 66412.3)*

The Housing Element noted that more than 32% of households in 2013 were overpaying for their housing. Though the cost of these homes may not be for a low-income household, increasing the supply of housing units helps reduce the scarcity and by extension the cost burden.

Therefore, pursuant to the Municipal Code and Government Code Sections 66473.5 and 66474 (A through G), the proposed parcel map qualifies for approval.

Site Plan Review No. 1211/Modification Typically, new single-family homes are not subject to Planning Commission review; however, the applicant is requesting a rear yard setback modification. Therefore, Lot 1 is subject to a site plan review, as is the requested material modification to the perimeter wall. The project has been reviewed with §11-1.30.02, §11-1.66.03, §11-2.213 of the LMC as follows:

Development Standard	Project	Allowed/Required	Compliance
Zone	Single-Family/R-1	Single-Family/R-1	Yes
Minimum Lot Size	Lot 1: 5,300 sq. ft.	5,000 sq. ft.	Yes
Minimum Lot Width	Lot 1: 44.12'	40'0"	Yes
Setbacks (Lot 1 Only)	Front: 20'0' Side: 5'0"/5'0" Rear: 17'0"	20'0" 5'0"/5'0" 20'0"	Yes Yes No*
Height (Lot 1 Only)	16'0"	16'0" w/out a HVP	Yes
F.A.R. (Lot 1 Only)	.53	.60	Yes
Parking (Lot 1 Only)	2 enclosed spaces	2 enclosed spaces	Yes
Perimeter Walls (Sec. 11-2.213)	6' high solid fence	6' high solid masonry wall	No*

*Modifications

Even though, the Map shows building footprints on Lot 2 & Lot 3, the future single-family homes are not part of this review. Single-family homes are reviewed administratively unless requesting a discretionary approval. The reason that the building footprints are shown on the map is to illustrate that the future homes can be situated on the lots and conform to our development standards.

Per Section 11-1.30.02 and Section 11-2.213, modifications to rear yard setbacks and perimeter wall are subject to site plan review and approval by the Planning Commission, pursuant to the provisions of Section 11-1.70.07, "Site Plan Review" and Section 11-1.70.08, "Modifications." After reviewing the proposed development in accordance with Article 70, staff has determined that the proposed project is consistent with the following required findings:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the staff report, the proposed project complies with all the development standards in Title 11, save the rear yard setback on Lot 1 and the perimeter wall material modification for all three lots.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

Lot 1 is suitable for a single-family home with a 17-foot rear yard setback. The proposed home is only 16 feet high. Even though the building will be three feet closer to the rear property line, the building's mass and shadow will be less imposing than a taller home, and will not adversely affect the residence to the rear.

Even though the Lot 2 and Lot 3's homes are not part of this review, the site is suitable for their intended use. The two single-family homes are consistent with the designated density and other development requirements and standards.

Installing a fence, instead of a masonry wall on this hillside property, which is surrounded by residential uses is suitable. Block walls are typically required to reduce noise from more intense uses located nearby. Surrounding uses are all residential in nature making the noise mitigation measures from a block wall unnecessary. Also, the neighboring property already has a fence (not block wall) along the easterly property line. Utilizing a similar material would be in keeping with the existing character of the neighborhood.

The proposed modifications for a fence instead of a wall and setback have no foreseeable impact on traffic congestion, public health, safety or the general welfare. A single-family home is consistent with the General Plan's Low Density Residential designation and a fence, which is a norm in residential zones, is consistent with the Land Use Element's first goal: *to promote an orderly pattern of development in the City.*

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design is both suitable and functional for Lot 1. The 17-foot-deep rear yard will be 71.50 feet long and have an area of 1,215 square feet, which exceeds the rear yard area of a traditional 50-foot-wide lot with a 20-foot rear yard setback. Allowing a fence option, instead of a masonry wall, is also suitable and functional on this hillside property. The easterly property already has a white fence along its rear property line and this modification will allow the flexibility to complement the look and material of the existing neighborhood character.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

With regard to Lot 1's rear yard setback, the combined effect of the past land divisions, the relatively shallowness of this lot and the area's view protections on the building's height curtail the buildable envelope. When adjusting for the garage's square footage, the proposed one-story home has 8% less square footage than the FAR allows. For these reasons, the 20-foot rear yard requirement is an unnecessary hardship.

The block wall requirement is an unreasonable regulation for the entire perimeter of the property. Block walls are long lasting and commonly utilized along the perimeter of a parcel map to reduce sound and protect the new single-family residences from more intense land uses that may be located nearby. In this case, all of the surrounding properties and associated uses are either residential or passive (Chevron's pipeline) so a requirement to install a block wall for potential noise mitigation is not necessary.

Parking Analysis

In addition to the development standards listed above, the project is subject to minimum parking requirements. The proposed home on Lot 1 will contain four-bedrooms and provide a two-car attached garage, which meets the Code's one-family off-street parking requirement. Lot 2 and Lot 3's future homes will have to comply with off-street parking requirements detailed in Sec. 11-1.66.03(A) and will be reviewed administratively.

Environmental Determination

In accordance with § 15303(a) (New Construction and Conversion of Small Structures) of the California Environmental Quality Act guidelines, up to three single-family residences are exempt in an urban area's residential zone. The proposed wall modification is associated with three single-family dwelling units in an urban area that is zoned for residential use and the three-foot rear yard setback medication applies to only one single-family home. Also, per § 15315 (Minor Land Divisions) of the CEQA Guidelines, the division of property in urbanized areas zoned for residential use into four or fewer parcels may be considered exempt from CEQA review. The proposed project will divide a residential parcel into three lots. All of the lots conform to the General Plan and zoning requirements and requires no variances. In addition, all services and access to the proposed parcels

to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. The proposed Site Plan Review and Vesting Tentative Parcel Map meet the above referenced requirements as outlined in the attached Notice of Exemption. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment.

Public Notice

Notice of this hearing, dated April 29th, 2021 were mailed to property owners within 300 feet of the subject property and posted at the subject site, City Hall, Lomita Park and on the web page. As of the date this staff report was prepared, staff has not received written correspondence against this specific proposed project.

Recommended by:



Greg Kapovich
Community and Economic
Development Director

Prepared by:



Laura MacMorran
Assistant Planner

ATTACHMENTS:

1. Draft Resolution (Vesting Tentative Parcel Map)
2. Draft Resolution (Site Plan Review)
3. Vicinity Map
4. Zoning Map
5. General Plan Map
6. Aerial Photograph
7. Notice of Exemption
8. Vesting Tentative Parcel Map
9. Site Plan, Elevations, & Floor Plan
10. Irrevocable Offer of Dedication
11. 1978 Cul-de-Sac Design

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LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL OF VESTING TENTATIVE PARCEL MAP NO. 83029 FOR THE SUBDIVISION OF 26275 APPIAN WAY INTO THREE LOTS IN THE RESIDENTIAL SINGLE-FAMILY (R-1) ZONE. FILED BY KEVIN MCMINN, 30229 KINGSRIDGE DRIVE, RANCHO PALOS VERDES, CA 90275

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The City of Lomita has received an application for Site Plan Review and a Vesting Parcel Tract Map for the development of three single-family residential lots. Filed by Kevin McMinn, 30229 Kingsridge Drive, Rancho Palos Verdes, CA 90275 (Developer), in accordance with Articles 3 and 8, Chapter 2 of Title XI of the Lomita Municipal Code.
- B. On May 10, 2021, the Planning Commission held a public hearing to consider Site Plan Review No. 1211, which approved a 17-foot rear yard setback on Lot 1 of the subject site and allowed the perimeter fence to be constructed with a wood/vinyl material instead of masonry blocks, subject to approval by the City Council of a tentative map and final map, with subsequent recordation of the final map.
- C. On May 10, 2021, the Planning Commission held a duly noticed public hearing and accepted testimony for and against the proposed project.
- D. The subject site is zoned Single Family Residential (R-1) and designated Low-Density Residential by the City's General Plan.
- E. The proposed Vesting Tentative Parcel Map has been reviewed by the City's engineering division, County of Los Angeles Fire Department, and City consultants, with recommended conditions of approval included in this resolution.
- F. In accordance with Section 15315 (Minor Land Divisions) of the CEQA Guidelines, the division of property in urbanized areas zoned for residential use into four or fewer parcels may be considered exempt from CEQA review. The proposed project will divide a residential parcel into three lots. All of the lots conform to the General Plan and zoning requirements and requires no variances. In addition, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.
- G. The Planning Commission finds that the applicant agrees with the necessity of, and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of

preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

Section 2. Pursuant to California Government Code Section 66410 *et seq.* (Subdivision Map Act), Section 66412.3, Section 11-2.116 of the Lomita Municipal Code, and the City's General Plan, based on the entire record before the Planning Commission and all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

1. *The proposed subdivision is designed, to the extent feasible, to provide for passive or natural heating or cooling opportunities.* (See Gov. Code Section 66473.1.)

The design of the subdivision creates a five-foot wide parkway in which street trees will be planted between driveway aprons and in turn they will keep adjoining paved surfaces cool. It also ensures that a dedicated planting space exists in perpetuity. Finally, the lots and homes are orientated east-west and will capture the ocean's westerly breezes.

2. *The proposed subdivision and the provisions for its design and improvement are consistent with the general plan for the City of Lomita ("General Plan"),* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site has a General Plan Land Use Designation of Low Density Residential and the proposed single-family project is compatible with the surrounding uses, which consist of single family dwellings. The site is physically suitable for the density of development. The site has a density of 7 dwelling units per acre which is consistent with the General Plan's development density of 5.8 to 8.71 units per acre.

3. *The Subject Site is physically suitable for the type and density of development proposed in the Tentative Tract.* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed three single-family lots with a minimum of 5,000-square-foot apiece. The development will have pedestrian and vehicular accessibility via a new cul-de-sac extending Ober Avenue. The proposed development requires two parking spaces within an enclosed garage for each unit and a home with five or more bedrooms must have an additional unenclosed parking space, which can be in the driveway. The project design meets the required parking standards and promotes safe and convenient pedestrian and vehicular circulation. The proposed grade will not exceed 10%.

4. *The subdivision design and improvements proposed in the Tentative Tract Map are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat.* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The subject property is a hillside parcel. There are several mature trees that provide canopy coverage. None of the existing urban introduced landscaping is a candidate for sensitive or special status species. The project would not significantly impact wildlife or wildlife habitat. A condition of approval has been included to require the removal of existing trees outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

5. *The subdivision design and type of improvements proposed in the Tentative Map are not likely to cause serious public health problems because all development and public improvements will be performed per the requirements of all applicable standards and codes, including the zoning and building codes. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The site is physically suitable for the type of development. The project meets all the required development standards as shown in the approved plans associated with Site Plan Review No. 1211.

6. *The subdivision design and type of improvements proposed in the Tentative Map will not conflict with easements acquired by the public at large for access through or use of the Subject Site. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the tract map. The extension of Ober Avenue (a public street) will make the existing easement to 26235 Ober Avenue unnecessary.

7. *The discharge of waste into an existing sewer system from development proposed in the Tentative Map will not cause a violation of existing requirements prescribed by the local water quality control board. (See Gov. Code Section 66474.6.)*

The design of the subdivision will discharge waste into an existing community sewer system and will not result in violation of existing requirements prescribed by Los Angeles Regional Water Quality Control Board per Division 7 of the Water Code.

8. *The subdivision and improvements proposed in the Vesting Tentative Parcel Map help the City of Lomita meet its regional housing needs. (See Gov. Code Section 66412.3)*

The Housing Element noted that more than 32% of households in 2013 were overpaying for their housing. Though the cost of these homes may not be for a low-income household, increasing the supply of housing units helps reduce the scarcity and by extension the cost burden.

Section 3. Decision.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lomita hereby recommends City Council approval of Vesting Tentative Parcel Map No. 83029 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. This Vesting Tentative Parcel Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. Pursuant to Lomita Municipal Code sections 11-2.357 and 11-2.251, this Vesting Tentative Parcel Map dated April 21, 2021 shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the

issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.

3. Approval of the tentative map is contingent upon acceptance and completion of the irrevocable offer to dedicate land on 26235 Ober Avenue because that dedication is needed to create a cul-de-sac in compliance with the Municipal Code. If the dedication is not completed, the design of the cul-de-sac on the map cannot be accomplished as proposed and redesign of the map will be required.
4. The Developer shall comply with the attached conditions of approval (Attachment A) developed by City of Lomita Public Works Department, Quantum Quality Consulting and the County of Los Angeles Fire Department.
5. Prior to building permits being issued, the property shall conform to the provisions of Chapter 2 (Division of Land) of Title XI.
6. The Developer shall comply with Site Plan Review No.1211's conditions of approval.
7. This subdivision shall comply with Title 11 of the Lomita Municipal Code (Vesting Tentative Map) as determined by the City Engineer.
8. The final map shall not be recorded until there has been compliance with all conditions of approval.
9. The Developer shall install house addresses and mailboxes in accordance with Post Office policy. The actual addresses will be assigned by Los Angeles County staff prior.
10. The Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
11. Removal of existing trees shall be performed outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of May, 2021 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners

Steven Cammarata, Chairperson

ATTEST: _____
Greg Kapovich
Director of Community and Economic Development

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

Attachment A
PUBLIC WORKS REQUIREMENTS FOR
26275 APPIAN WAY VTPM No 83029

GENERAL

In accordance with the City of Lomita Municipal Code, Title X, Chapter 5, Section 10-5.02, applications for new construction development states that when \$35,000 or more of construction costs, the owner is responsible for providing new sidewalk, curb & gutter, and street pavement along property frontage, PL to PL to centerline of right-of-way, unless existing is up to present standards.

1. PUBLIC RIGHT OF WAY IMPROVEMENTS

Street Pavement Requirements:

Place Type II asphalt slurry

Curb and Gutter Requirements:

Integral curb and gutter (PCC) with positive drainage is required.

Sidewalk Requirements

- All new sidewalks and driveways shall be built in accordance with the latest edition of the Standard Specifications for Public Works Construction and to meet current Americans with Disabilities Act (ADA) to the satisfaction of the City of Lomita.
- All Driveways should be compliant with City of Lomita Standards (12ft or 16ft width)
- Close any unused driveways with standard curb, gutter and sidewalk along the property frontage on street within this subdivision to the satisfaction of City of Lomita.
- Repair any damaged improvements during construction to the satisfaction of the City of Lomita.
- Protect in place existing trees or replace according with Lomita City Master Street Tree Plan.

Release of Easement from Adjacent Properties

- Provide documents of release from adjacent property owners stating their consent on changes to their properties.
- Any space within the City's right of way needs to be dedicated to the City.

2. SEWER CONNECTIONS

Provide a sewer area study and a sewer design for the approval of the City, and if required it needs to be approved by the Los Angeles County Sewer Maintenance District as well.

The property owner is responsible for maintenance of the sewer lateral from the building or residence up to, and including, the connection to the City's sewer mainline. Existing

sewer laterals in the City are typically very old and in poor condition and may require full replacement (or lining). A video of the existing sewer lateral may be submitted for consideration by the City Engineer to remain as is.

Existing laterals serving more than one dwelling unit must be a minimum of 6" diameter. Laterals may only serve a single property. If an existing lateral crosses neighboring private properties, demonstration of a legal easement must be submitted. All private sewer clean-outs are to be installed on private property. Prior to structure demolition a sewer cap permit is required. The cap permit can be obtained from the Los Angeles County Building & Safety website.

When installing a new sewer lateral, existing lateral must be plugged at the property line, sewer lateral connection to the City sewer must be done with a wye connection or a mechanical saddle.

3. WATER CONNECTIONS

A Water Study should be completed for the property. This study should include a Fixture Unit Determination Chart, which will help determine the meter size and service lateral needed for this property. Please refer the attached Exhibit A for the Fixture Unit Determination Chart.

Prepare water plans detailing the proposed water service connections, including fire, irrigation and domestic usages for each separate property. The plan should also show the water meter for each separate property.

4. OTHER UTILITIES AND PUBLIC FACILITIES

Prepare plans to include all public facilities such as: gas, power and communications lines, power poles, street lights, street signs, fire hydrants, trees, and other features. All utility lines shall be undergrounded.

Also, a Street Light/Photometric Study and lighting specifications may be needed for the approval of the City and the Los Angeles County Lighting Maintenance District 10038.

5. WORK GUARANTEE DEPOSIT

For all public improvements as required by the LMC with the City's estimate exceeding \$20,000, the City will require those improvements to be completed prior to issuance of any building permit for the project, unless the applicant provides security accompanied by an applicable improvement agreement and associated documents as approved by the City Attorney. Acceptable forms of security will be bond or cash deposit unless otherwise approved by the City Attorney.

The Work Guarantee Deposit may be held for up to one year following final acceptance of the improvements to guarantee no settlement of trench resurfacing occurs.

6. OTHER FEES

The applicant has to bear the costs of drawing review of wet utilities, or for special inspection services when needed (sewer connection for example). These costs will be estimated by the City and will need to be collected as cash deposit unless otherwise approved by the City Attorney.

PLAN REQUIREMENTS – "C" SHEETS

A civil engineering plan (designated as "C" Sheets) shall be required for all new development constructing improvements within the public right-of-way. To assist the applicant, the City will provide a digital file with a template of the "C" Sheet (2' x 3' plan sheet) with all standard notes and title block when requested.

"C" Sheets shall be submitted separately from the Building Permit plan set for review by the Department of Public Works, concurrently with Community and Economic Development Department review. Public Works approval is required prior to issuance of the Building Permit. A licensed Civil Engineer must prepare the "C" Sheet and a licensed Land Surveyor must prepare the survey.

The "C" Sheets must be scalable drawings and include the following items:

- Property lines including public right-of-way to centerline of the street, all fully dimensioned.
- Proposed building footprint and all structures.
- Legal Description.
- Project Description
- Topographic survey of the private lot and the public right-of-way. Elevations for street centerline, flow-line, and top of curb and back of sidewalk shall be shown for a minimum distance of 50 feet on each side of the proposed project.
- Sidewalks, curbs and gutters, handicap ramps, edge of pavement, parkways and driveways.
- Storm drain devices including curb outlets, catch basins, infiltration basins, on-site and off-site drainage with area drains, roof drains and flow direction.
- Public facilities including: power poles, street lights, street signs, fire hydrants, trees, and other features.
- Sewer, including existing mainline, manholes, existing and proposed new sewer lateral.
- Water, including existing water mainline, proposed water service line and meter locations and size.
- Underground utility conversion plan for power and telephone showing all existing and proposed utility lines and appurtenant structures
- Construction staging area (Note: A temporary encroachment permit issued by Public Works is required for all temporary construction activities within the public right-of-way).

- Projects disturbing greater than 1200 sq. ft. of land require a Storm Water Pollution Prevention Plan for erosion control and other best management practices to prevent pollutants from leaving the site must be followed.

PLAN SUBMITTAL PROCESS- PUBLIC RIGHT OF WAY IMPROVEMENT PLANS

The applicant must submit the "C" Sheets, as detailed above, to the Public Works Department, located in City Hall. If the applicant is unsure of what public improvements are required, the first submittal at a minimum should include the new driveway location and driveway slope, garage lip elevations, onsite drainage and infiltration system, sewer main and sewer lateral location (existing or proposed), water main and water service lines, overhead utility undergrounding trench location and the source and connection points. After receiving this submittal, staff will field check the location and make a determination of all requirements including improvements within the public right-of-way. Staff will return the "C" Sheets marked up denoting all required improvements.

At the time of issuance of the plan check approval by Public Works, the applicant or contractor will be required to obtain an Encroachment Permit and pay all necessary fees – Here is the link for the encroachment permit application. Individual applications are needed for each individual work: water, sewer and public right of way improvements.

http://www.lomita.com/cityhall/public_works/Encroachment-Permit-Application.pdf

The permit must be signed by the property owner (or his designee) and by the prime contractor performing the work.

Permits for "temporary staging encroachments" such as dumpster placement, crane, concrete truck, concrete pump, or storage of materials in the public right-of-way, street and/or lane closures, scaffolding, fence or other temporary impacts to public right-of-way could be taken out at a later date when scheduling is known.

CONSTRUCTION PHASE

1- WATER CONNECTION

The process for the installation of a new water service and or water meter is explained below. All listed forms and City Standards are attached as Exhibit B:

- The property owner will need to hire a contractor with either Class A or C34 license to perform this type of work.
- Contractor to submit completed encroachment permit application, insurance certificate naming the City of Lomita as additional insured and apply for a City Business License.
- Contractor to submit list of materials "submittals" for the work as the Public Works Department will need to approve the submittals
- Here is the link to more information regarding the City Business License:
http://www.lomita.com/cityhall/government/admin/index.cfm?p=../business/business_licenses/index.cfm
- Contractor shall expose the water main, install saddle, tap water main, run new copper service lateral, install water meter box, backfill and pave according to City Standards

W-100 and W-101. City Water Crew can perform these tasks for a fee upon request.

- Property owner to submit a completed Start New Service Application. This should happen after the service lateral has been completed. This will trigger City staff to come out and install the water meter. Only City staff are allowed to install the water meters.
- will be charged for the installation of the meter and the cost of the meter. The cost of the meter will be determined later after City staff have reviewed all documentation and approved it accordingly.
- Contractor will need to call out abandoning any existing water services that will not be used anymore according to the Abandon Service Line Detail.

Irrigation Water System:

- The Irrigation Water System should have its own separate service with backflow prevention device, see W-104. Sizing will be determined.

Fire Line System:

- See W-130 for some guidance.
- This system will need an approved fire sprinkler plan. Approval will come from LA County Fire Department.

Fire Hydrant Installation:

- Check if this is a requirement from the Fire Department

2- PUBLIC WORKS INSPECTION

Inspection of all phases of work is required. Work completed without necessary inspections may be cause for removal. Call (310) 325-7110 ext. 170 or 110 to schedule an appointment for inspection. 24-HOUR MINIMUM NOTICE IS REQUIRED FOR ALL INSPECTIONS when received by 12 pm of the proceeding day. All inspection requests must specify if an A.M. or P.M. inspection is required. Inspection messages are checked twice daily; you will receive a call back confirming your appointment time. No inspections will be made on Friday unless special approval is granted by the Director of Public Works.

The following items of work require inspection:

- REMOVALS – Call for inspection prior to removals and excavation to confirm that DIGALERT has been notified, utilities marked and proper traffic control is in place.
- PLACING CONCRETE OR ASPHALT
 - Call for PW inspection of compacted sub-grade and forms at least 24 hours in advance of paving.
 - Notify inspector of date/time for paving.
- TRENCHING FOR SEWER LATERAL, WATER CONNECTIONS OR UTILITIES
 - If trench depth is greater than 5-feet, the inspector shall approve shoring.
 - Call for PW inspection of pipe bedding prior to covering any pipe.
 - Call for inspection of placement of backfill.

- **FINAL ACCEPTANCE & RELEASE-** When all work has been completed, call for final inspection and sign off on permit. If there is a work guarantee deposit on file, it will be processed for refund. Please note that if improvements included trenching in the roadway, the deposit may be held for up to one year to guarantee against settlement of the trench resurfacing.

ATTACHMENTS:

1. Exhibit A: Fixture Unit Determination Chart
2. Exhibit B: City of Lomita Water Standards

FIXTURE UNIT DETERMINATION CHART

Customer's Name _____ Date _____
 Service Address _____ Account No. _____
 Telephone No. _____

PREMISES IS USED FOR: (Check applicable box)

- Single Family Resident; Commercial; Public (School, etc.); Other purposes (
- This property has onsite fire protection flow requirement served through the domestic meter of ___ ga
- This property does not have any onsite fire protection requirements served through the domestic meter

MINIMUM METER SIZE BASED ON PLUMBING FIXTURE UNITS, SIZE OF SERVICE AND PR

To determine the minimum meter size allowable under the County of Los Angeles Plumbing Code, the fixture units on the premises must first be determined. First, insert the number of each type of fixture under the column headed "Quantity". Second, multiply the quantity by the number of fixture units per column "Private Use" or "Public Use", whichever is applicable. Third, post the result in the "Total column" column in the box down below.

EQUIVALENT FIXTURE UNITS (Includes Combined Hot and Cold Water Demand)	Number of Fixture Units Per Fixture		Quantity	=
	Private Use	Public Use		
Bar Sink	1	2	X	_____ =
Bathtub (with or without shower over).....	2	4	X	_____ =
Dental unit or cuspidor.....	-	1	X	_____ =
Drinking fountain (each head).....	1	2	X	_____ =
Hose bibb (standard type faucet)	3	5	X	_____ =
House trailer (each).....	6	6	X	_____ =
Laundry tub or clothes washer	2	4	X	_____ =
Lavatory	1	2	X	_____ =
Lavatory (dental)	1	2	X	_____ =
Lawn sprinklers (standard type each head)	1	1	X	_____ =
Shower (each head)	2	4	X	_____ =
Sink (bar)	1	2	X	_____ =
Sink or dishwasher	2	4	X	_____ =
Sink (flushing rim, clinic)	-	10	X	_____ =
Sink (washup, each set of faucets).....	-	2	X	_____ =
Sink (washup, circular spray)	-	4	X	_____ =
Toilet (flush tank)	3	5	X	_____ =
Toilet (flushometer valve)	6	10	X	_____ =
Urinal (pedestal or similar type)	-	10	X	_____ =
Urinal (stall or wall).....	-	5	X	_____ =
Urinal (flush tank)	-	3	X	_____ =
Other (please specify) _____			X	_____ =

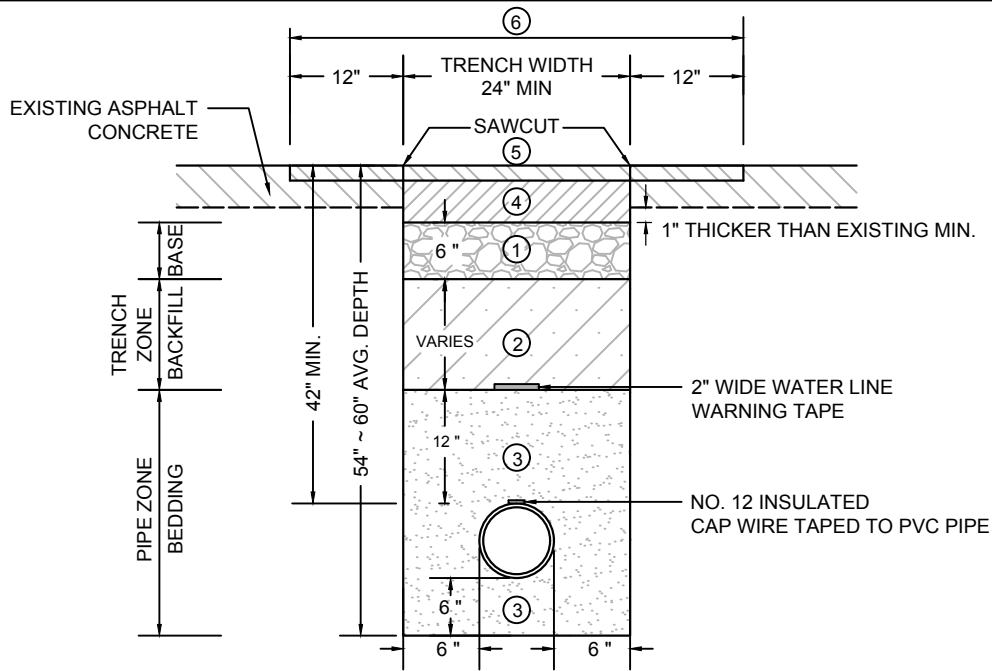
Water supply outlets for items not listed above shall be computed at their maximum demand, but in no case

3/8 inch	1	2	X	_____ =
1/2 inch	2	4	X	_____ =
3/4 inch	3	6	X	_____ =
1 inch	6	10	X	_____ =

TOTAL FIXTURE UNITS [_____]

Then measure the approximate distance between the water meter and the most distant fixture. Insert distance in _____ feet from water meter to furthest fixture.

EXHIBIT B



NOTES:

① CONSTRUCT NEW CRUSHED AGGREGATE BASE (CAB) OR CRUSHED MISCELLANEOUS BASE (CMB), SHALL MATCH THE EXISTING BASE THICKNESS, OR 6-INCHES, WHICHEVER IS GREATER AND SHALL BE COMPACTED TO 95% RELATIVE DENSITY. THIS REQUIREMENT SHALL ALSO APPLY OVER SLURRY BACKFILLS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

② BACKFILL SHALL BE EITHER:
 A. CRUSHED AGGREGATE BASE
 B. CRUSHED MISCELLANEOUS BASE
 C. TWO SACK CEMENT SAND SLURRY

COMPACTION TO 90% RELATIVE DENSITY WHEN SLURRY BACK FILL IS NOT USED. COMPACTION TESTING (USING CITY APPROVED METHOD) IS REQUIRED UNLESS SLURRY IS USED. ASPHALT CONCRETE PAVING WILL OCCUR NO SOONER THAN 42 HOURS AFTER SLURRY BACKFILL OF TRENCH.

BACKFILL FOR NARROW TRENCHES PER SECTION 306-12.2 OF THE LATEST EDITION OF STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK")

SOIL TESTING MAY BE REQUIRED TO BE PROVIDED TO THE CITY INSPECTOR ON A CASE-BY-CASE BASIS.

③ FINE SAND BEDDING HAND TAMP OR MECHANICAL TAMPING AT 12" MAX LIFTS.

④ CONSTRUCT NEW ASPHALT CONCRETE BASE COURSE, TYPE B, PG 64-10, 1" THICKER THAN EXISTING SECTION.

⑤ CONSTRUCT NEW ASPHALT CONCRETE WEARING COURSE, TYPE C2, PG 64-10

THE TOTAL THICKNESS OF ④ + ⑤ SHALL BE 6" MINIMUM. ASPHALT CONCRETE LAYERS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION

⑥ UPON COMPLETION OF BACKFILLING THE TRENCH, ASPHALT CONCRETE BASE COURSE SHALL BE INSTALLED FLUSH WITH THE EXISTING PAVEMENT. NO SOONER THAN 14 CALENDAR DAYS AFTER COMPLETION OF AFOREMENTIONED ASPHALT CONCRETE BASE COURSE IT SHALL BE COLD PLANED TO 2 INCH DEPTH ENTIRE LENGTH OF THE TRENCH UNLESS OTHERWISE APPROVED BY THE CITY INSPECTOR. A NEW ASPHALT CONCRETE WEARING COURSE SHALL BE INSTALLED FLUSH WITH THE ADJACENT SURFACE.

7 ALL UTILITIES TO BE INSTALLED BENEATH PUBLIC STREETS, INTERSECTIONS, AND STREET CROSSINGS (LOCAL STREETS EXCEPTED) SHALL BE BORED UNLESS OTHERWISE APPROVED BY THE CITY INSPECTOR. IF OPEN CUTTING OF A STREET IS ALLOWED, REPAIR OF THE STREET SHALL BE IN ACCORDANCE WITH THIS STANDARD PLAN.

8 ALL TRAFFIC STRIPING AND/OR MARKINGS REMOVED BY THE RESTORATION WORK SHALL BE REPLACED.

9 ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK").

10 IF UNSTABLE SOIL IS ENCOUNTERED, THE CITY INSPECTOR SHALL DETERMINE OVER EXCAVATION DEPTH AND FOUNDATION RE-FILL MATERIAL PER CITY DIRECTION.

WATER MAIN TRENCH DETAIL

APPROVED:

 Mark McAvoy, P.E.
 Director of Public Works



CITY OF LOMITA
 PUBLIC WORKS DEPARTMENT

Drawn:

Scale: N.T.S.

Date:

JAN 2017

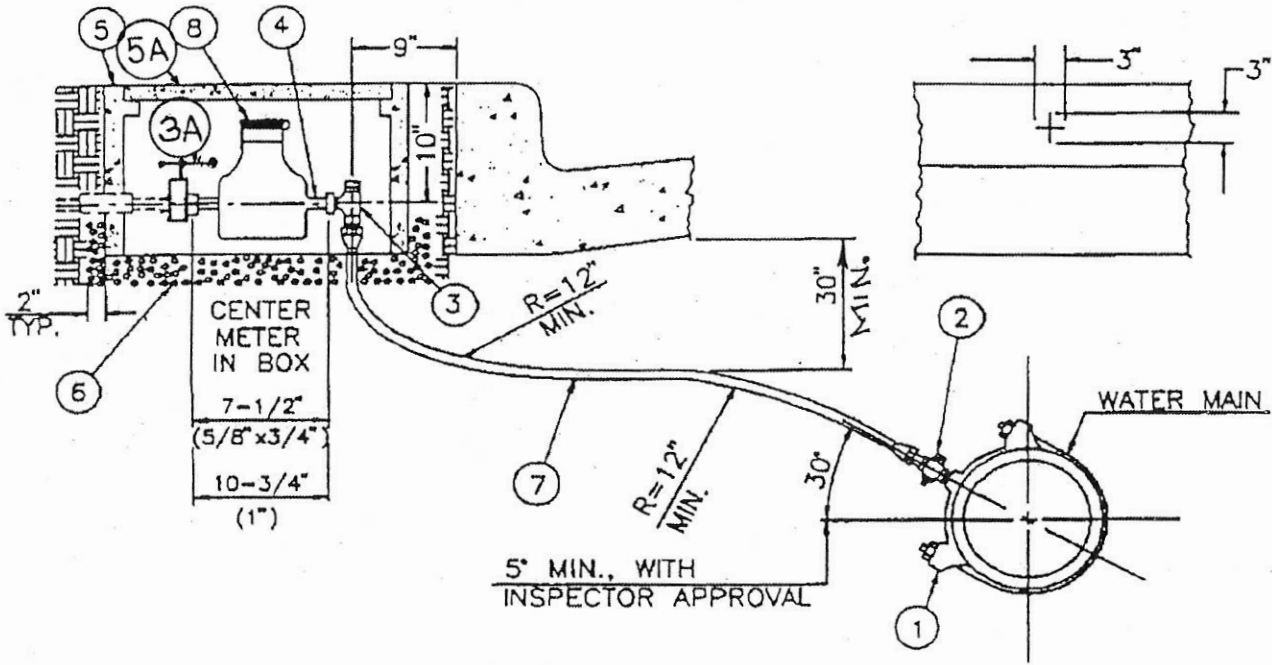
DRAWING NO.

W-100

LIST OF MATERIAL

ITEM	DESCRIPTION	FORD	JONES	MUELLER	REMARKS
	DOUBLE STRAP SERVICE SADDLE	202B	J-979	BR2B SERIES	WITH F I P T
2	CORPORATION STOP 1" INSULATED	FB-600*	J-1930	B-25028	AWWA MIPT THREAD
3	ANGLE METER STOP 1"	BA23-44W	J-1964W	B-24255	
3a	BALL METER VALVE	B43-444	-	B-24351-3	
4	BUSHING 1-1/4" x 1"	-	-	-	FOR 5/8" x 3/4" ONLY
5	METER BOX	-	-	-	SEE SEC. 2-10 04
5a	POLYMR CONC COVER & LID	-	-	-	SEE SEC. 2-10 04
6	1/2" CRUSHED ROCK. 4" BASE	-	-	-	
7	1" COPPER TUBE. TYPE K	-	-	-	NO SPLICES ALLOWED
8	WATER METER	SEE SECTION 2.11 OF THE SPECIFICATIONS			

* WITH SERVICE INSULATOR BY FORD SI-4



NOTES:

1. COPPER TUBE TO BE ONE CONTINUOUS PIECE. NO SPLICES PERMITTED.
2. INSTALL CORPORATION STOP WITH KEY UP.
3. TAPS SHALL BE MADE AT LEAST 24" FROM ANY OTHER TAP, COUPLING OR BELL.
4. STANDARD 1" WATER SERVICE IS USED FOR 5/8" x 3/4" AND 1" METERS
5. CHIP 3" + IN CURB FACE TO IDENTIFY CORP. STOP LOCATION.
6. IN AREAS WITHOUT CURB OR WITH ROLLED OR TYPE "F" CURB USE TRAFFIC LOAD RATING COVER.

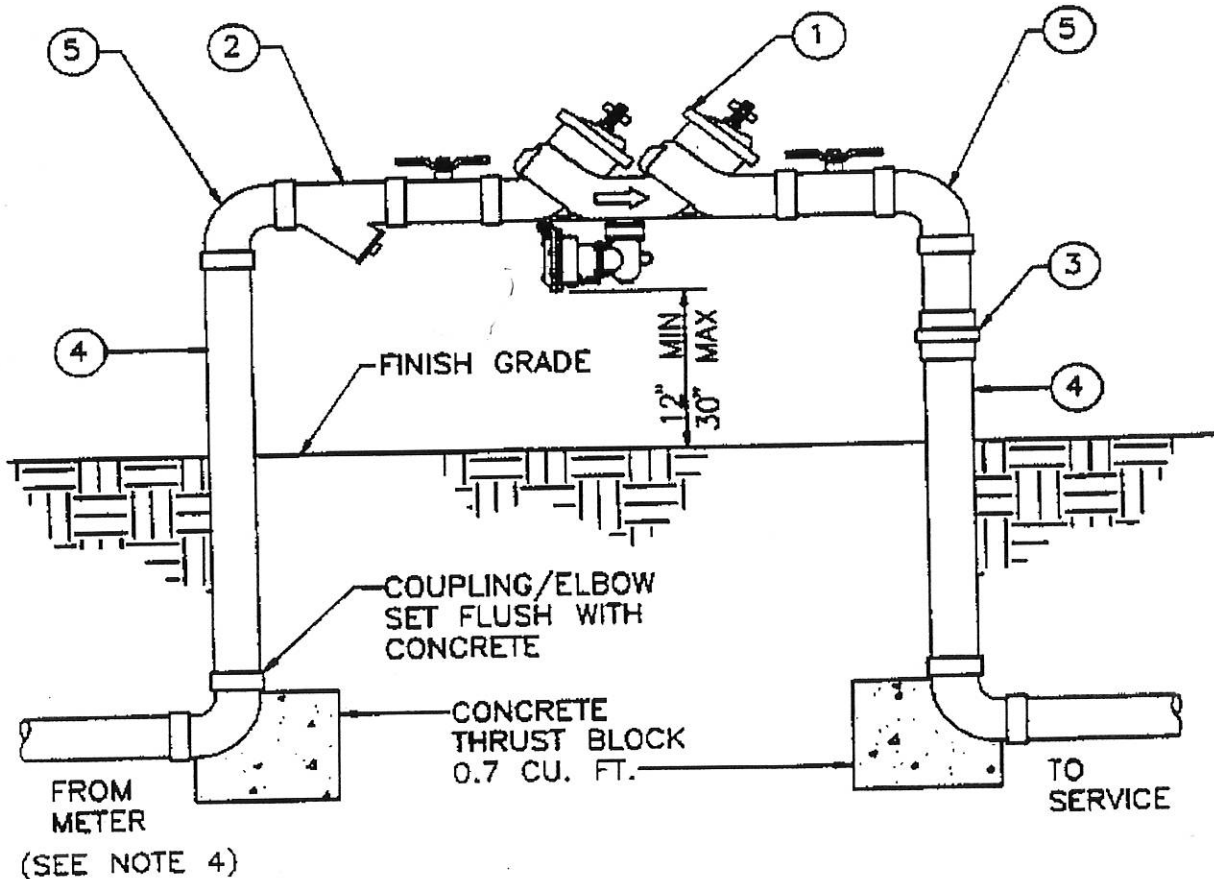
1" WATER SERVICE INSTALLATION

CITY OF LOMITA WATER DEPARTMENT

DRAWN			BY	DATE	APPROVED	FIELD SUPERVISOR	DATE	STD NO	W-101
CHECKED			CVG	10-2000	APPROVED	WATER ENGINEERING CONSULTANT	DATE	SHEET 1 OF 1	
APPROVED			W.T.	10-2000	APPROVED	FIELD SERVICES DIRECTOR	DATE	DATE: OCT. 2000	

LIST OF MATERIALS

ITEM	DESCRIPTION
1	BACKFLOW PREVENTION DEVICE. USC APPROVED TYPE
2	WYE STRAINER, BORNZE
3	BRASS UNION
4	RISER AND NIPPLES - BRASS OR COPPER
5	90° ELBOW - BRASS OR COPPER



NOTES:

1. THE BACKFLOW PREVENTER ASSEMBLY SHALL CONSIST OF AN APPROVED REDUCED PRESSURE OR DOUBLE CHECK VALVE ASSEMBLY DEPENDING ON THE DEGREE OF HAZARD AS DETERMINED BY THE UTILITY.
2. LOCATION AND INSTALLATIONS SHALL BE PER PLAN AS SUBMITTED TO AND APPROVED BY THE UTILITY.
3. NO CONNECTIONS TO BE MADE BETWEEN METER AND BACKFLOW PREVENTER.
4. THE ENTIRE LENGTH OF PIPING FROM METER TO THE BACKFLOW PREVENTER SHALL BE BACKFILLED WITH 2 - SACK SLURRY TO 12" BELOW FINISHED GRADE.

1" THROUGH 2" BACKFLOW PREVENTION DEVICE

CITY OF LOMITA WATER DEPARTMENT

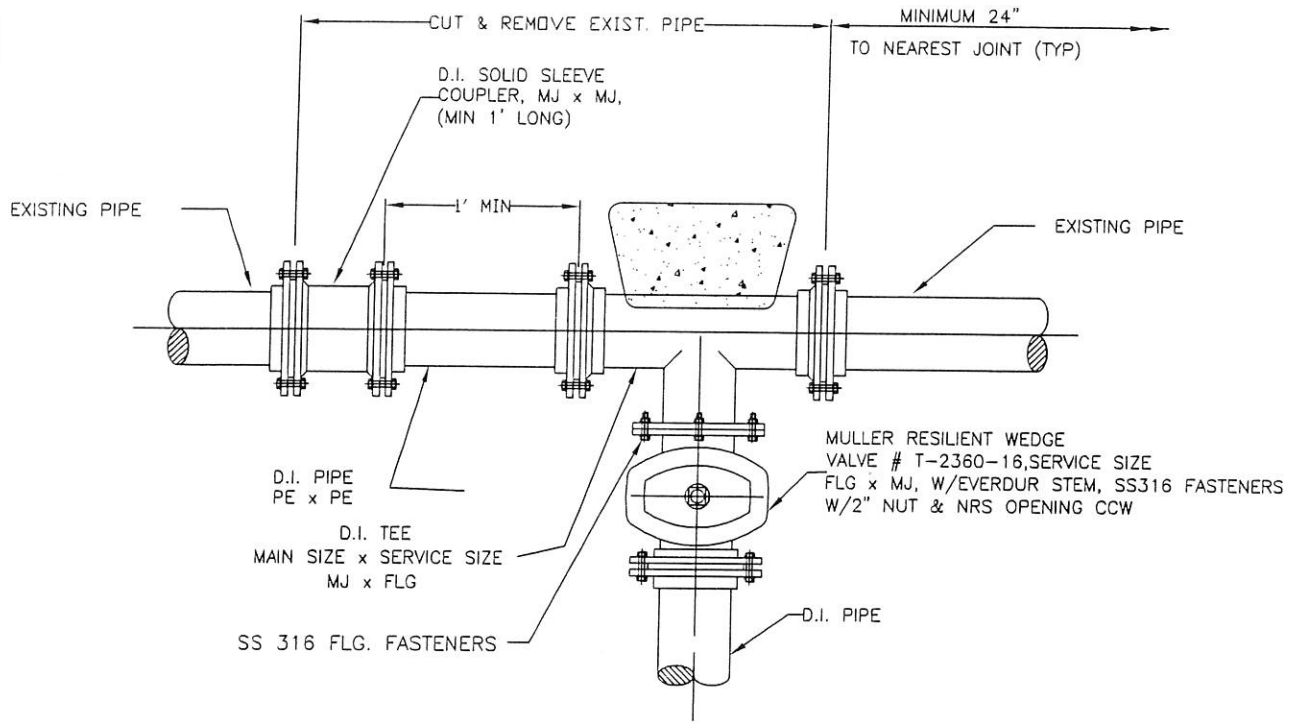
DRAWN	BY TL	DATE 3-09-98	APPROVED FIELD SUPERVISOR _____ DATE _____
CHECKED	KT	3-09-98	APPROVED WATER ENGINEERING CONSULTANT _____ DATE _____
SUBMITTED CIVIL ENGR WATER	BDB	3-09-98	APPROVED FIELD SERVICES DIRECTOR _____ DATE _____

STD. NO.

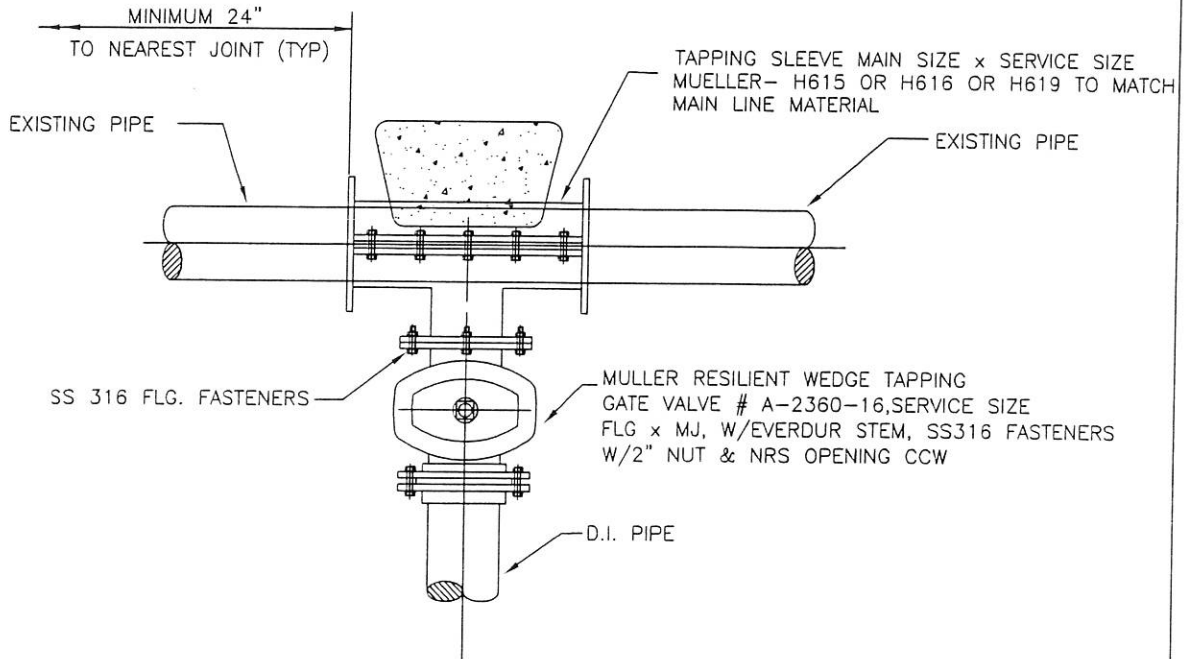
W-104

SHEET 1 OF 1

REVISION NO. 2
DATE : NOV. 1999



CUT IN METHOD



HOT TAP METHOD

ACCOMPANYING STD. W-101, W-102, W-110, W-111, W-120, W-121, W-140, W-142, W-150, W-300 & W-103

CITY OF LOMITA - PUBLIC WORKS DEPARTMENT

DATE ISSUED

D.I. CONNECTION TO MAIN

STANDARD NO.

W-130

SEPT 1, 2007

WENDELL E. JOHNSON,
CITY ENGINEER
CERTIFICATION NO. C 66340

SHEET 1 OF 1



Quantum Quality Consulting, Inc.
Consulting Engineering Services

April 21, 2021

Subject: VESTING TENTATIVE PARCEL MAP NO. 83029
ENGINEERING REVIEW COMMENTS

Laura MacMorran
Assistant Planner
City of Lomita
24300 Narbonne Ave
Lomita, CA 90717

Dear Ms. MacMorran,

Quantum Consulting (QC) has completed the engineering review of the subject document and therefore recommends VTPM No. 83029 for approval.

If you should have any questions or comments regarding the engineering review of the subject document, please feel free to contact me.

Sincerely,

Frank Bigdeli, P.E.

**VESTING TENTATIVE PARCEL MAP NO. 83029
RECOMMENDED COMMENTS**

The following comments are NOT provided as part of the review of this VTPM 83029 and are required of the applicant to secure approvals:

- City of Lomita Planning
- L.A. County Fire Department
- L.A. County Department of Parks and Recreation
- L.A. County Department of Public Health

COMMENTS

The subdivision shall conform to the design standards and policies of the City of Lomita, in particular, but not limited to the following items:

1. Subdivision

a) Applicant shall pay all development impact fees.

b) Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the city.

c) Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.

d) Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar- Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, subordination must be executed by the easement holder prior to the filing of the final map.

e) The owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the City Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and

Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.

f) All utility extensions within the site shall be placed underground.

g) All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the City for approval.

h) Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the City determined the application to be complete all to the satisfaction of Public Works.

i) Prior to expiration of the tentative map, a final parcel map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office.

j) The parcel map shall be submitted to the Director of Public Works for examination pursuant to Section 66410 of the Government Code (Subdivision Map Act).

k) A final subdivision guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office. A preliminary title report was not provided with this submittal.

l) Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 (Minor Land Divisions) or \$5,000 (Major Land Divisions) with the City to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract and Parcel Maps, Vesting Tentative Tract and Parcel Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (California Fish and Wildlife, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract/parcel map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be

required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.

2. Road

- a) Construct new driveways to meet current Americans with Disabilities Act (ADA) to the satisfaction of the City of Lomita.
- b) Close any unused driveways with standard curb, gutter and sidewalk along the property frontage on streets within this subdivision to the satisfaction of City of Lomita.
- c) Repair any damaged improvements during construction to the satisfaction of the City of Lomita.

3. Sewer

- a) The subdivider shall serve each proposed unit with a separate house lateral.

4. Water

- a) The subdivider shall serve each proposed unit with a separate house lateral and meter.
- b) Submit landscape and irrigation plans for each lot in the land division, with landscape area greater than 2,500 square feet, in accordance with the Water Efficient Landscape Ordinance.

REQUIREMENTS PRIOR TO GRADING PLAN APPROVAL:

5. Grading (If grading plan is required)

- a) Provide the following:
 - 1). Benchmark information on grading plan/exhibit map.
 - 2). The latest drainage concept hydrology/Standard Urban Stormwater Mitigation Plan (SUSMP)/Low Impact Development (LID) plan by the City.
 - 3). Grading plans shall conform to the California Building Code and all other relevant laws, rules, and regulations governing grading in the City of Lomita.
 - 4). Lot(s) on which retaining walls are proposed will require separate permit(s).
 - 5). Rough and precise grading combination plan for the entire site and submit for review and approval.

6). Where grading involves import or export, the project applicant shall obtain approval for the import/export location from the City.

7). If import/export involves the movement of more than 100 cubic yards of material using city streets, review and approval of a haul route by the City is required.

8). Grading plan shall provide for protection of downstream properties from damages caused by alteration of the drainage patterns.

9). It shall be the sole responsibility of the project applicant to obtain any and all proposed required easements and/or permissions necessary to perform the grading.

10). Phase 1 Environmental Site Assessment for review by the City.

11). Permits and/or letters of non-jurisdiction from all State and Federal Agencies, as applicable. These agencies may include, but may not be limited to the State of California Regional Water Quality Control Board, State of California Department of Fish and Game, State of California Department of Conservation, Division of Oil, Gas, and Geothermal Resources (DOGGR), and the Army Corps of Engineers.

REQUIREMENTS PRIOR TO FINAL MAP RECORDATION:

a) Submit a grading plan for approval. The grading plan must show and call out the following items, including but not limited to: construction of all drainage devices and details, paved driveways, elevation and drainage of all pads, SUSMP and LID devices (if applicable), and any required landscaping and irrigation not within a common area or maintenance easement.

Acknowledgement and/or approval from all easement holders may be required.

b) A maintenance agreement or CC&Rs may be required for all privately maintained drainage devices, slopes, and other facilities.

6. Storm Drain and Hydrology

a) Applicant shall provide a copy of the drainage concept or hydrology study prior to issuance of building permit or grading plan approval.

7. Geotechnical

a) A preliminary geotechnical/soils investigation report shall be provided on this project.



**COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION**

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4293, Fax (323) 890-9783

EPIC-LA NUMBER: FLDU2020001943 PROJECT NUMBER: PM 83029
CITY/COMMUNITY: Lomita STATUS: Cleared
PROJECT ADDRESS: 26275 Appian Way DATE: 09/29/2020
Lomita, CA 90717

CONDITIONS

1. The revised Tentative Parcel Map 83209 has satisfied the County of Los Angeles Fire Department Fire Prevention Land Development Unit requirements. The County of Los Angeles Fire Department Fire Prevention Land Development Unit has no additional requirements for this subdivision.

For any questions regarding the report, please contact Tony Le at (323) 890-4243 or tony.le@fire.lacounty.gov.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: Tentative Parcel Map 83029
ADDRESS: 26275 Apian Way
City: Lomita
Inspector: Nancy Rodeheffer FPEA II

MAP DATE: March 17, 2020
Planner: Laura MacMorran
FLDU FLDU2020001943
Report Date: April 16, 2020

THE FIRE DEPARTMENT RECOMMENDS THAT THIS PROJEC BE APPROVED AT THIS TIME AND TO PROCEED WITH THE PUBLIC HEARING PROCESS.

FAILURE TO COMPLY WITH THE LAND DEVELOPMENT UNIT HOLDS DURING THE TENTATIVE MAP PROCESS PRIOR TO PUBLIC HEARING, AND OR THE FINAL MAP REVIEW PRIOR TO RECORDATION, MAY RESULT IN THE BUILDING PLANS NOT BEING APPROVED DURING THE FIRE DEPARTMENT FIRE PREVENTION ENGINEERING SECTION BUILDING PLAN CHECK REVIEW.

The proposed subdivision does not propose structures at this time. Upon development of the lot(s) within this subdivision, all applicable codes, and ordinances shall apply regarding Fire Department access and water for firefighting purposes.

FINAL MAP REQUIREMENTS:

1. The Final Map shall be submitted to the Fire Department for review and approval prior to recordation. The Final Map shall be submitted online to the Land Development Unit for review. Please visit epicla.lacounty.gov for the submittal of the Final Map. The applicant will need to apply for the following Plan Type: **Fire-Land Development-City Request-Final Map-Tract**. The applicant shall follow the steps and upload the required digital information.
2. Access as noted on the Tentative and the Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires an all-weather access surface to be clear to sky.
3. A copy of the Final Map shall be submitted to the Fire Department for review and approval prior to recordation.
4. The driveways required for Fire Apparatus Access Roads shall be indicated on the Final Map as "Private Driveway and Fire Lane" with the widths clearly depicted.

ACCESS REQUIREMENTS:

1. Every building constructed shall be accessible to Fire Department apparatus by way of access roadways, with an all-weather surface of not less than the prescribed width. The roadway shall be



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT:	Tentative Parcel Map 83029	MAP DATE:	March 17, 2020
ADDRESS:	26275 Apian Way	Planner:	Laura MacMorran
City:	Lomita	FLDU	FLDU2020001943
Inspector:	Nancy Rodeheffer FPEA II	Report Date:	April 16, 2020

extended to within 150 feet of all portions of the exterior walls when measured by an unobstructed route around the exterior of the building.

2. Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire Code 503.1.1.
3. All on-site Fire Department vehicular access roads shall be labeled as "Private Driveway and Fire Lane" on the site plan/exhibit, tentative map and Final Map along with the widths clearly depicted on the plan. Labeling is necessary to assure the access availability for Fire Department use. The designation allows for appropriate signage prohibiting parking.
4. Fire Department vehicular access roads must be installed and maintained in a serviceable manner prior to and during the time of construction. Fire Code 501.4.
5. All fire lanes shall be clear of all encroachments and shall be maintained in accordance with the Title 32, County of Los Angeles Fire Code.
6. The Fire Apparatus Access Roads and designated fire lanes shall be measured from flow line to flow line.
7. The proposed subdivision does not propose structures at this time. Upon development of the lot(s) within this subdivision, all applicable codes, and ordinances shall apply regarding Fire Department access and water for firefighting purposes.
8. Fire Apparatus Access Roads shall be designed and maintained to support the imposed load of fire apparatus weighing 37 ½ tons and shall be surfaced so as to provide all-weather driving capabilities. Fire apparatus access roads having a grade of 10 percent or greater shall have a paved or concrete surface. Fire Code 503.2.3
9. Provide approved signs or other approved notices or markings that include the words "NO PARKING - FIRE LANE". Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for fire apparatus access roads, to clearly indicate the entrance to such road, or prohibit the obstruction thereof and at intervals, as required by the Fire Inspector. Fire Code 503.3
10. A minimum 5-foot wide approved firefighter access walkway leading from the fire department access road to all required openings in the building's exterior walls shall be provided for firefighting and rescue purposes. Fire Code 504.1



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Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT:	Tentative Parcel Map 83029	MAP DATE:	March 17, 2020
ADDRESS:	26275 Apian Way	Planner:	Laura MacMorran
City:	Lomita	FLDU	FLDU2020001943
Inspector:	Nancy Rodeheffer FPEA II	Report Date:	April 16, 2020

11. Fire Apparatus Access Roads shall not be obstructed in any manner, including the parking of vehicles, or the use of traffic calming devices, including but not limited to, speed bumps or speed humps. The minimum widths and clearances established in Section 503.2.1, shall be maintained at all times. Fire Code 503.4

WATER SYSTEMS REQUIREMENTS:

1. For all occupancies other than one and two -family dwellings, and Group R-3 buildings, including commercial, industrial, multi-family dwellings, private schools, and institutions, fire hydrant spacing shall be 300 feet. No portion of lot frontage shall be more than 200 feet from, via vehicular access, a public hydrant. No portion of a building shall be more than 400 feet from, via vehicular access, a properly spaced public hydrant.
2. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal, and shall be installed in accordance with the County of Los Angeles Fire Code.
3. The required fire flow for the public fire hydrants for this project is XXXX GPM at 20 PSI for X hours. (to be determined upon receipt of the construction type and square footage of proposed structures)
4. All required public fire hydrants shall be installed, tested and accepted prior to beginning construction. Fire Code 501.4
5. An approved automatic fire sprinkler system is required for the proposed buildings within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.

INTENTIONALLY
BLANK

DRAFT
LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING SITE PLAN REVIEW NO. 1211 TO MODIFY THE SOLID MASONRY PERIMETER WALL REQUIREMENT AND SUBSTITUTE A FENCE ALONG THE PERIMETER OF VESTING TENTATIVE PARCEL MAP NO. 83029 AND TO PERMIT A THREE-FOOT REAR-YARD SETBACK MODIFICATION ON LOT 1 OF VESTING TENTATIVE PARCEL MAP NO. 83029 AT 26275 APPIAN WAY IN THE SINGLE-FAMILY RESIDENTIAL (R-1) ZONE AND TO CONFIRM THE CATEGORICAL EXEMPTION. FILED BY KEVIN MCMINN, 30229 KINGSRIDGE DRIVE, RANCHOS PALOS VERDES, CA 90275(“DEVELOPER”).

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The City of Lomita has received an application for a Site Plan Review to modify the solid masonry perimeter wall requirement and substitute a fence and to permit a three-foot rear-yard setback modification and a Vesting Tentative Parcel Map to subdivide a 23,200 square-foot single family residential lot into three new single-family residential lots at 26275 Appian Way in the Single-Family Residential (R-1) Zone. Filed by Kevin McMinn 30229 Kingsridge Drive, Ranchos Palos Verdes, CA 90275 (the “Developer”).
- B. Pursuant to Lomita Municipal Code Section 11-1.30.02, single-family residential projects requesting modifications to setbacks are permitted, subject to 11-1.70.08 and approval by the Planning Commission.
- C. Pursuant to Lomita Municipal Code Section 11-2-213, a modification to the solid masonry wall requirement is permitted subject to the Planning Commission’s approval of the Site Plan Review and Modification.
- D. This project has been evaluated in accordance with CEQA, and it has been determined that the proposed project is categorically exempt from the requirements of CEQA. Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project consisting of a Site Plan Review is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) have a project site that can be adequately served by all required utilities and public services. The tract to be fenced is less than an acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations and when built will be fully served by all required utilities. The site also has no value for a sensitive or endangered habitat. As there is

no substantial evidence that the project may have a significant effect on the environment, Planning Commission may find the project is compliance with the CEQA exemption.

- E. On May 10th, 2021, the Planning Commission held a duly noticed public hearing and accepted public testimony.

Section 2. Pursuant to Section 11-1.70.07 (Site Plan Review) of the Lomita Municipal Code, and Section 11-1.70.08, "Modifications"; after reviewing the proposed development it is determined that the proposed project is consistent with the following required findings:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the staff report, the proposed project complies with all the development standards in Title 11, save the rear yard setback on Lot 1 and the perimeter wall material modification for all three lots.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

Lot 1 is suitable for a single-family home with a 17-foot rear yard setback. The proposed home is only 16 feet high. Even though the building will be three feet closer to the rear property line, the building's mass and shadow will be less imposing than a taller home, and will not adversely affect the residence to the rear.

Even though the Lot 2 and Lot 3's homes are not part of this review, the site is suitable for their intended use. The two single-family homes are consistent with the designated density and other development requirements and standards.

Installing a fence, instead of a masonry wall on this hillside property, which is surrounded by residential uses is suitable. Block walls are typically required to reduce noise from more intense uses located nearby. Surrounding uses are all residential in nature making the noise mitigation measures from a block wall unnecessary. Also, the neighboring property already has a fence (not block wall) along the easterly property line. Utilizing a similar material would be in keeping with the existing character of the neighborhood.

The proposed modifications for a fence instead of a wall and setback have no foreseeable impact on traffic congestion, public health, safety or the general welfare. A single-family home is consistent with the General Plan's Low Density Residential designation and a fence, which is a norm in residential zones, is consistent with the Land Use Element's first goal: *to promote an orderly pattern of development in the City.*

3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.

The development design is both suitable and functional for Lot 1. The 17-foot-deep rear yard will be 71.50 feet long and have an area of 1,215 square feet, which exceeds the rear yard area of a traditional 50-foot-wide lot with a 20-foot rear yard setback. Allowing a fence option,

instead of a masonry wall, is also suitable and functional on this hillside property. The easterly property already has a white fence along its rear property line and this modification will allow the flexibility to complement the look and material of the existing neighborhood character.

4. Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.

With regard to Lot 1's rear yard setback, the combined effect of the past land divisions, the relatively shallowness of this lot and the area's view protections on the building's height curtail the buildable envelope. When adjusting for the garage's square footage, the proposed one-story home has 8% less square footage than the FAR allows. For these reasons, the 20-foot rear yard requirement is an unnecessary hardship.

The block wall requirement is an unreasonable regulation for the entire perimeter of the property. Block walls are long lasting and commonly utilized along the perimeter of a parcel map to reduce sound and protect the new single-family residences from more intense land uses that may be located nearby. In this case, all of the surrounding properties and associated uses are either residential or passive (Chevron's pipeline) so a requirement to install a block wall for potential noise mitigation is not necessary.

Section 3. Based on the above findings, the Planning Commission of the City of Lomita hereby approves Site Plan Review No. 1211's request to substitute a perimeter fence in lieu of a solid masonry perimeter wall and allow for a three-foot rear yard setback modification on Lot 1 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated April 19, 2021 ("Exhibit A") on file with the Planning Division. The Community and Economic Development Director may approve minor changes associated with the architecture, site design and buildings to the approved Modified Plans. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that Lomita Municipal Code requirements are met. Modifications exceeding a 10% deviation shall be referred back to the Planning Commission. A minor modification may be granted for minimal changes of structures or of the design, materials or colors of structures or masonry walls.
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community and Economic Development Director allows the Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.

5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
6. Developer shall provide off-street parking spaces for the project and stall size, paving, striping, location, and access, shall be as required by the City Code.
7. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
8. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
9. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property.
10. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief.
11. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.
12. Prior to issuance of building permits, Developer shall sign a letter agreeing to the conditions of approval within this resolution.

LANDSCAPING STANDARD CONDITIONS

13. Before submitting landscape and irrigation plans, Developer shall obtain the Community and Economic Development Director's approval of a plan showing on the project property all existing trees and identifying the trees to be saved, transplanted or removed.
14. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of MWELO-compliant landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans.
15. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems in compliance with the Model Water Efficient Landscape Ordinance (2015) and the City shall certify the installation.
16. Landscape planting and all irrigation systems as required and as specified by this permit shall be maintained as shown on the plans.
17. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit.

18. At the close of escrow or at the time of occupancy of each dwelling unit, Developer shall review with and provide instructions to each buyer concerning the irrigation controller operation and the watering schedules.
19. The project shall meet the maximum allowable water usage requirements as calculated by the Model Water Efficient Landscape Ordinance (2015). The calculations shall be shown on the submitted landscape plans for verification.
20. Developer shall submit four sets of median and parkway landscape and irrigation plans with the first submittal of public improvement plans. The City shall approve median and parkway landscape and irrigation plans when the City approves public improvement plans. Before the City issues a building permit, the irrigation plans must be approved for proper meter size, backflow prevention device, and cross connection control by the Public Works Director or designee.
21. Before the City accepts medians and parkways from Developer, the landscaping thereon must complete a plant establishment period of 90 days or such other time as specified in this permit.

PLANNING STANDARD CONDITIONS

22. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
23. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
24. Developer shall provide utility meters, mailboxes and address directories, placed in decorative cabinets and clustered for efficient access for residents and service persons. All designs must be approved by the Community and Economic Development Director, the appropriate utility service provider and the United States Postal Service, as applicable.
25. Developer shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color.
26. The height of the structure including roof-mounted equipment shall not exceed 16'0" from average natural elevation.
27. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-way, to the maximum extent

feasible.

28. Developer shall submit a lighting plan showing standard heights and light materials for design review and approval of the Community and Economic Development Director.
29. Developer shall provide for dust control at all times during project property preparation and construction activities.
30. Exterior light fixtures shall not intrude into neighboring living or patio areas.
31. Developer shall pay Parkway Tree Fees before issuance of building permits. The amount of the fee shall be determined by the Planning Division at the time of payment, based on fees set by City Council resolution.
32. Developer shall pay the Development Tax of \$1,000 per residential unit prior to issuance of building permits.
33. Developer shall pay the applicable Water Facilities fee, currently 1 percent of the valuation of the development.
34. Developer shall pay Quimby Fees (fees for park acquisition and improvement) before issuance of building permits. The amount of the fee shall be determined by the Planning Division at the time of payment.
35. Developer shall construct in accordance with the standards and specifications of, and at the locations and grades established by, the Public Works Director, concrete curbs, gutters and sidewalks parallel and adjacent to that portion of the entire perimeter of the lot which adjoins any street, at no expense to the city, unless adequate curbs, gutters and sidewalks exist.
36. Developer shall not locate ground equipment and fixtures in the front yard setback area, unless approved by the Community and Economic Development Director.
37. Developer shall screen storage areas from adjacent properties and streets by a wall or similar screening. All fence and wall materials shall match the predominant design and materials of the main structure on the project property.
38. Developer shall provide automatic garage door openers for all garages.
39. Developer shall construct each dwelling unit with separate utility systems and meters.
40. Developer shall depict the railings and enclosures on the construction documents.
41. Developer shall install all roof and building drainpipes and downspouts inside building elements. These items shall not be visible on any exterior building elevations.
42. All utilities shall be placed underground subject to the approval of the Community and Economic Development Director and the Building Official.
43. Developer shall have a pre-construction meeting with the head of the Public Works

Department to discuss and submit a construction schedule.

ENGINEERING STANDARD CONDITIONS (CITY OF LOMITA)

44. All public improvements, including new water service lines, meters, and frontage improvements shall be constructed per the City's Standard Drawings and Standard Specifications. All new and modified utility lines shall be placed underground.
45. The developer shall submit calculations, prepared by a licensed civil engineer, determining the size of the water service laterals, water meters and backflow device. A separate fire service line shall be required.
46. The developer shall install separate water meters for each unit with the brand/type of meter subject to the Department of Public Works approval. Prior to receiving Certificate of Occupancy, developer shall repair in accordance with the standards and specifications of the Public Works Director, any damaged concrete curbs, gutters and sidewalks parallel and adjacent to that portion of the entire perimeter of the lot which adjoins the street, at no expense to the city.
47. All water meters shall be located outside of the driveway apron. The new location shall be to the satisfaction of the City.
48. All unused approaches must be removed and replaced with sidewalk/parkway improvements to match existing and pursuant to American Disabilities Act requirements.
49. All project driveways, approaches, including alley, and adjacent sidewalk area shall be constructed to meet American Disabilities Act requirements.
50. Civil engineering plans shall be submitted for all right-of-way improvement prior to plan submission to the Building and Safety Division.
51. The developer shall obtain an encroachment permit, and place bonds as necessary from the City of Lomita for all proposed public improvements, including payment of all plan check and inspection fees.
52. Prior to issuing a grading permit or final Parcel Map approval the developer shall either construct or post security for all required public improvements.
53. Should the proposed development require a Standard Urban Stormwater Mitigation Plan (SUSMP) and a Low Impact Development Plan (LID), the Applicant shall comply with the requirements and specifications as prescribed by the Los Angeles County Department of Public Works and/or the City.

PLANNING SPECIAL CONDITIONS

54. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
55. It is hereby declared to be the intent that if any provision of this permit is held or declared

invalid, the permit shall be void and the privileges granted hereunder shall lapse.

56. This approval is subject to the recordation of Vesting Tentative Parcel Map No. 83029 and the map's conditions of approval.

57. Building permits shall not be issued prior to recording of the final map.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of May, 2021 by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
RECUSE: Commissioners:

Steven Cammarata, Chairperson

ATTEST: _____
Greg Kapovich
Community and Economic
Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

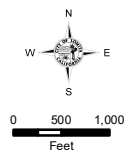
Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

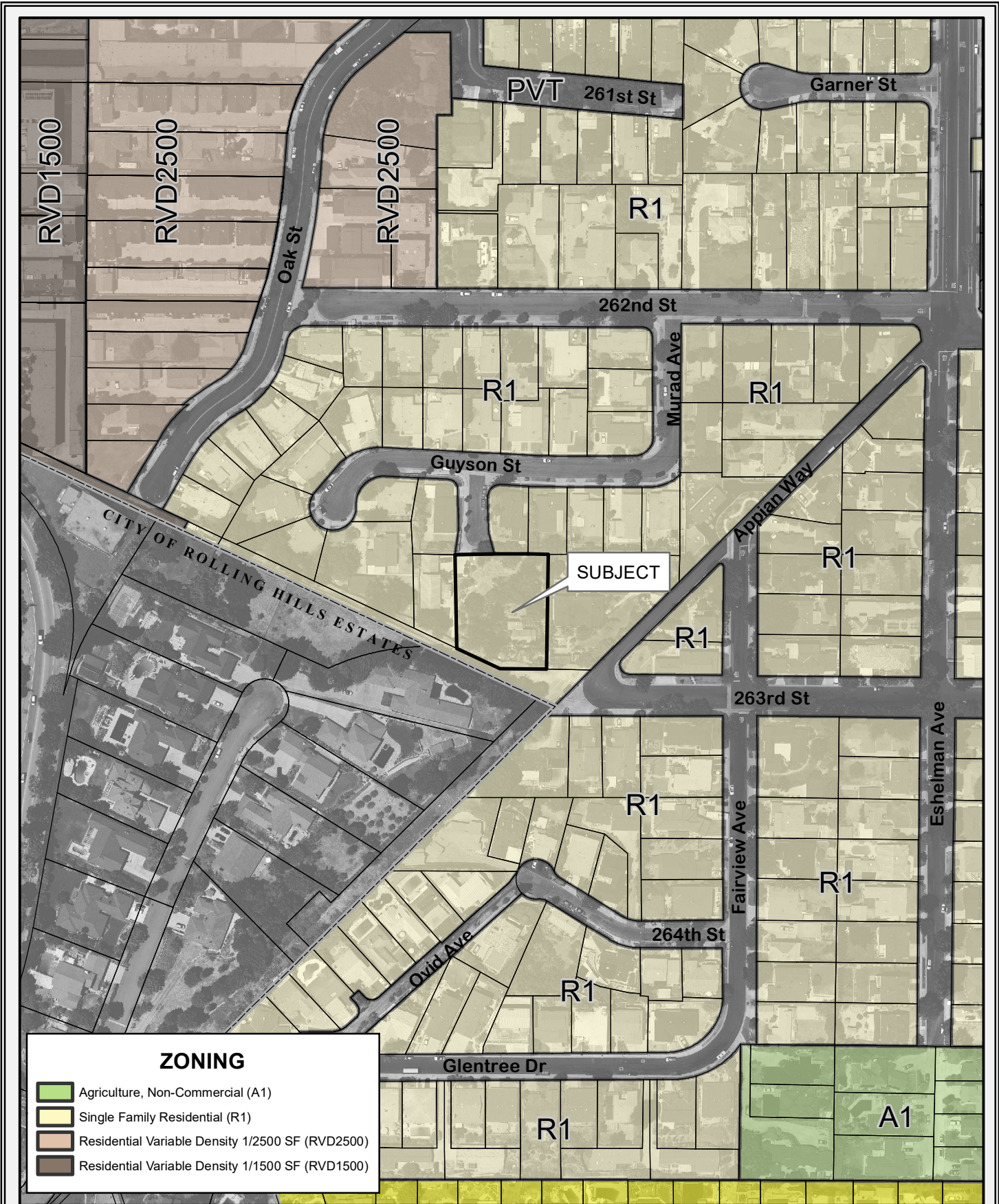


Site Plan Review No. 1211
Vesting Tentative Parcel Map No. 83029
26275 Appian Way
Attachment 3





Community Development
 April 2021

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/26275Appian_2.vty.mxd





ZONING

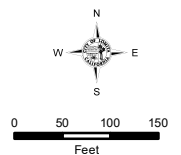
-  Agriculture, Non-Commercial (A1)
-  Single Family Residential (R1)
-  Residential Variable Density 1/2500 SF (RVD2500)
-  Residential Variable Density 1/1500 SF (RVD1500)

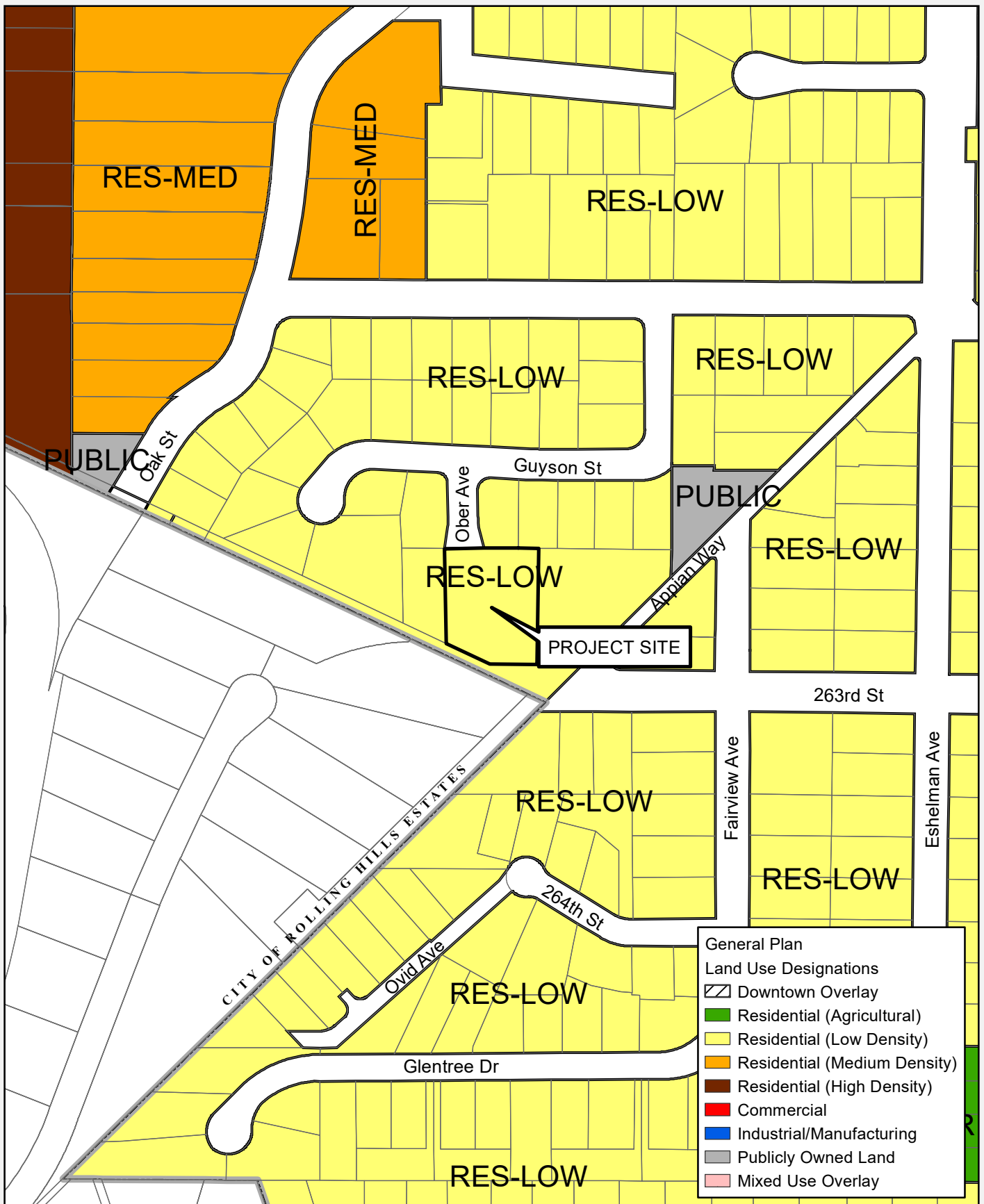


Site Plan Review No. 1211
Vesting Tentative Parcel Map No. 83029
26275 Appian Way
Attachment 4

Community Development
 April 2021

Source: Lomita GIS Data Layers
 GIS/Apps/26275Appian_2zon.mxd

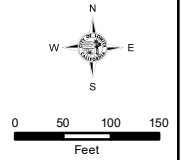




Site Plan Review No. 1211
Vesting Tentative Parcel Map No. 83029
26275 Appian Way
Attachment 5

Community Development
 April 2021

Source: Lomita GIS Data Layers
 GIS/Apps/26275Appian_2gp.mxd

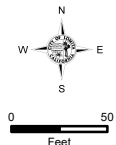




Site Plan Review No. 1211
Vesting Tentative Parcel Map No. 83029
26275 Appian Way
Attachment 6

Community Development
 April 2021

Source: Lomita GIS Data Layers
 /Apps/26275Appian_2aer.mxd





Community Development Department
 Planning Division
 24300 Narbonne Avenue
 Lomita, CA 90717
 310/325-7110
 FAX 310/325-4024

NOTICE OF EXEMPTION

Project Description:

Site Plan Review No. 1211/ Vesting Tentative Parcel Map No. 83029 - A request for a Vesting Tentative Parcel Map to subdivide an existing 23,200 square-foot single family residential lot into three new lots at 26275 Appian Way. The project also includes a Site Plan Review to construct a single-family residence on Lot 1 only. The Site Plan Review includes a rear yard setback modification for Lot 1 and a perimeter wall modification. The subject site is located in the Single-Family Residential (R-1) Zone. This project is categorically exempt from California Environmental Quality Act per Sections 15303(a) and 15315. Filed by Kevin McMinn, 30229 Kingsridge Drive, Rancho Palos Verdes, CA 90275 (“Applicant”)

Finding:

The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, Section 15303(a) (New Construction and Conversion of Small Structures) & Section 15315 (Minor Land Divisions))
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

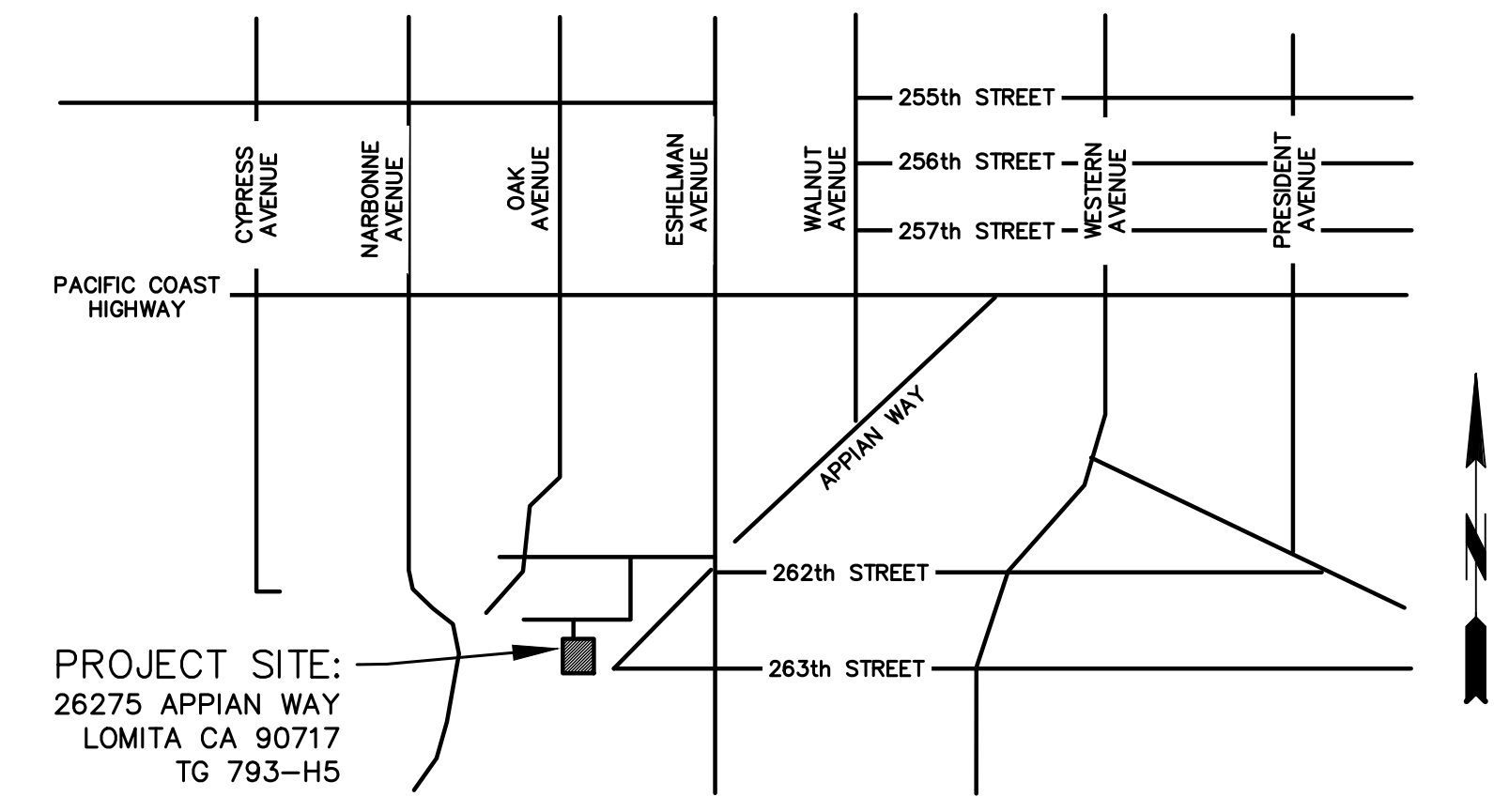
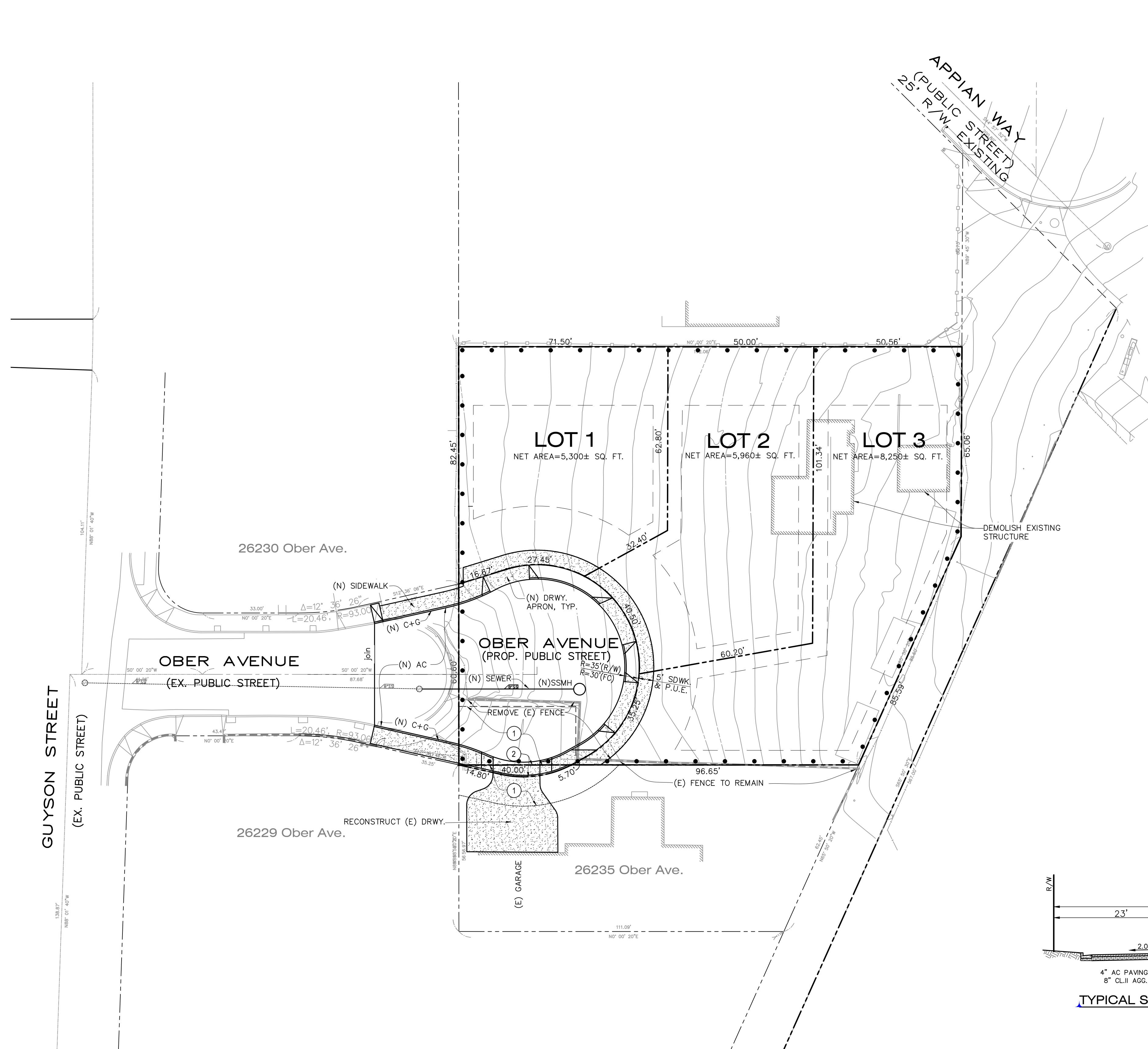
Supporting Reasons: Pursuant to Section 15303(a) (New Construction and Conversion of Small Structures) of the California Environmental Quality Act guidelines, up to three single-family residences are exempt in an urban area’s residential zone. The proposed wall modification is associated with three single-family dwelling units in an urban area that is zoned for residential use and the three-foot rear yard setback medication applies to only one single-family home. Also, per § 15315 (Minor Land Divisions) of the CEQA Guidelines, the division of property in urbanized areas zoned for residential use into four or fewer parcels may be considered exempt from CEQA review. The proposed project will divide a residential parcel into three lots. All of the lots conform to the General Plan and zoning requirements and requires no variances. In addition, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. Therefore, Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment.

 (Date)

 Greg Kapovich
 Community & Economic Development
 Director

MINOR LAND DIVISION
Vesting Tentative Parcel Map #83029
 Located in the City of Lomita, County of Los Angeles, State of California

April 21, 2021



VICINITY MAP
SCALE: 1" = 100'

PROPERTY ADDRESS:
26275 APPIAN WAY, LOMITA, CALIFORNIA
ASSESSOR'S PARCEL NO: 7549-004-035

APPLICANT/DEVELOPER:
Kevin McMin
3702 Ocaña Avenue
Long Beach CA 90808

LEGAL DESCRIPTION:
THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
PORTION OF LOT 21, OF TRACT 954, AS SHOWN ON A MAP RECORDED IN BOOK 17, PAGE 16 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ENGINEER / MAP PREPARED BY:
BOLTON ENGINEERING CORP.
25834 Narbonne Ave #210
Lomita, CA 90717
Phone: (310) 325-5580
Contact: Daniel J. Bolton
RCE 63290 EXP. 6/30/22

EXISTING USE:
THE TOTAL AREA OF LAND CONSISTS OF:
GROSS = 23,200± SQ. FT.

THE SITE IS CURRENTLY DEVELOPED WITH A SINGLE FAMILY RESIDENCE.

ZONING: R1 (SINGLE FAMILY RESID.)
LAND USE (EXISTING): SINGLE FAMILY RESID.
LAND USE (PROPOSED): SINGLE FAMILY RESID.

FLOOD ZONE:
THE SUBJECT PROPERTY IS MAPPED AS ZONE "X".

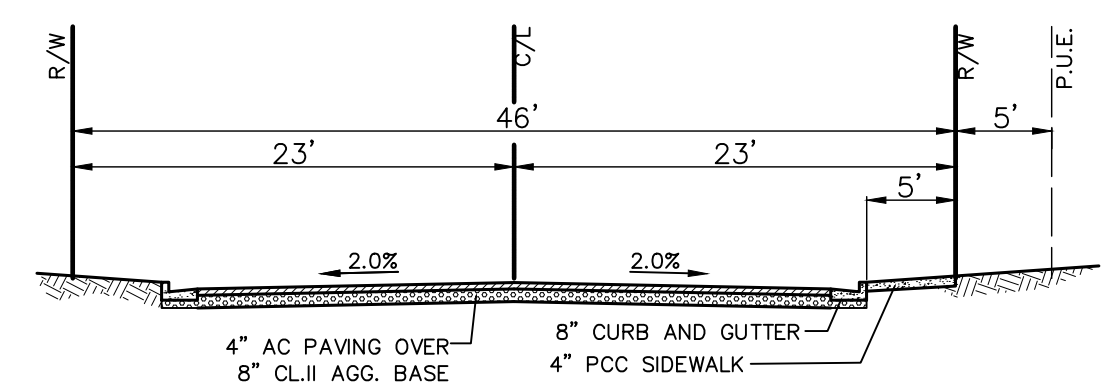
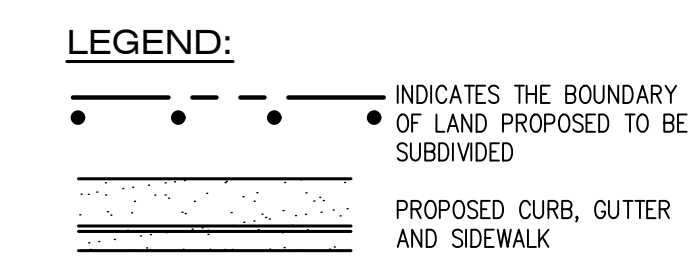
BOUNDARY LINES ARE ESTABLISHED BY RECORD PER SAID TRACT MAP.

SUBDIVISION SUMMARY:
THE SUBDIVISION PROPOSES CREATION OF THREE (3) SINGLE FAMILY RESIDENTIAL LOTS. PUBLIC RIGHT OF WAY AND PUBLIC IMPROVEMENTS FOR OBER AVENUE SHALL BE DEDICATED AND CONSTRUCTED.

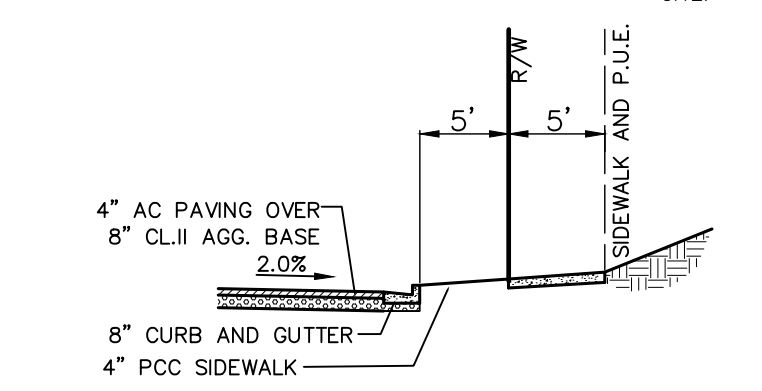
EARTHWORK QUANTITIES:
ESTIMATED GRADING FOR THE SUBDIVISION:
CUT: 189cy
FILL: 140cy (RAW)
156cy (10% SHRINKAGE)
NET: 33cy EXPORT

EASEMENTS:
FROM A TITLE REPORT BY PRIORITY TITLE COMPANY DATED NOVEMBER 28, 2016:

- 1 AN EASEMENT FOR RECIPROCAL INGRESS/EGRESS PER INST. NO. 15-629533.
- 2 IRREVOCABLE OFFER OF DEDICATION OF PUBLIC RIGHT OF WAY PER INST. NO. 78-1015963.
- 3 IRREVOCABLE OFFER OF DEDICATION OF SLOPE EASEMENT PER INST. NO. 78-1015963.
- 4 NEW PUBLIC RIGHT OF WAY FOR OBER AVENUE TO BE DEDICATED AS SHOWN. EASEMENTS SHALL BE DEDICATED OR RESERVED FOR RECIPROCAL INGRESS/EGRESS, UTILITY PROVISION AND MAINTENANCE, AND EMERGENCY VEHICLE ACCESS, AS NECESSARY.
- 5 ALL SQUARE FOOTAGES SHOWN ARE APPROXIMATE AND SUBJECT TO REVISION DURING DESIGN PROCESS.
- 6 NO WELLS ARE KNOWN TO EXIST ON THE SUBJECT PROPERTY.
- 7 NO OAK TREES ARE KNOWN TO EXIST ON THE SUBJECT PROPERTY. ALL EXISTING TREES ON SITE TO BE REMOVED.
- 8 NO HAZARDOUS CONDITIONS ARE KNOWN TO EXIST ON SITE.



TYPICAL SECTION-OBER AVENUE
SCALE: 1"=10'



TYP. SECTION-OBER CUL DE SAC
SCALE: 1"=10'

TENTATIVE MAP
Scale: 1" = 20'-0"

Basis Of Bearings
THE BASIS OF BEARINGS FOR THIS SURVEY, South 00° 00' 20" West BEING THE CENTERLINE OF OBER AVE., IN THE CITY OF LOMITA, CALIFORNIA. PER TRACT 21798, BM 600, PG. 2

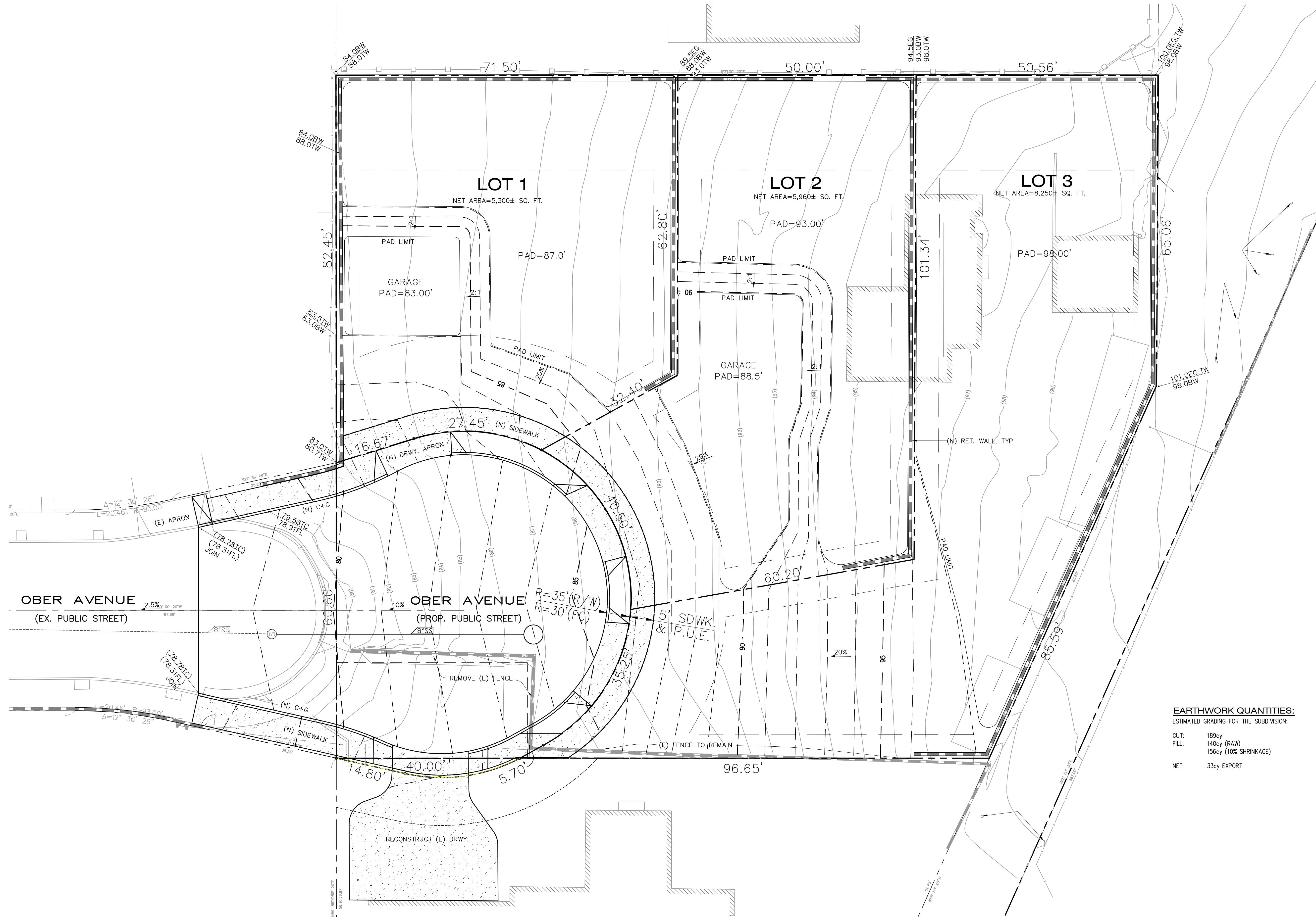
BENCHMARK:
BEING A LT ON CURB AT APPIAN WAY & 263RD ST. ASSUMED ELEV. 100.

Bolton Engineering Corp.
Civil Engineering & Surveying
25834 Narbonne Avenue Ste. 210
Lomita, CA 90717
BEC JOB NO. 19128

SHEET 1 of 3

MINOR LAND DIVISION
Vesting Tentative Parcel Map #83029
 Located in the City of Lomita, County of Los Angeles, State of California

April 21, 2021

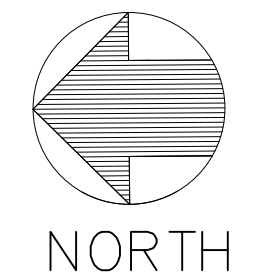


APPLICANT/DEVELOPER:
 Kevin McMinn
 3702 Ocaña Avenue
 Long Beach CA 90808

ENGINEER / MAP PREPARED BY:
 BOLTON ENGINEERING CORP.
 25834 Narbonne Ave #210
 Lomita, CA 90717
 Phone: (310) 325-5580
 Contact: Daniel J. Bolton
 RCE 63290 EXP. 6/30/18

EARTHWORK QUANTITIES:
 ESTIMATED GRADING FOR THE SUBDIVISION:

CUT:	189cy
FILL:	140cy (RAW)
	156cy (10% SHRINKAGE)
NET:	33cy EXPORT

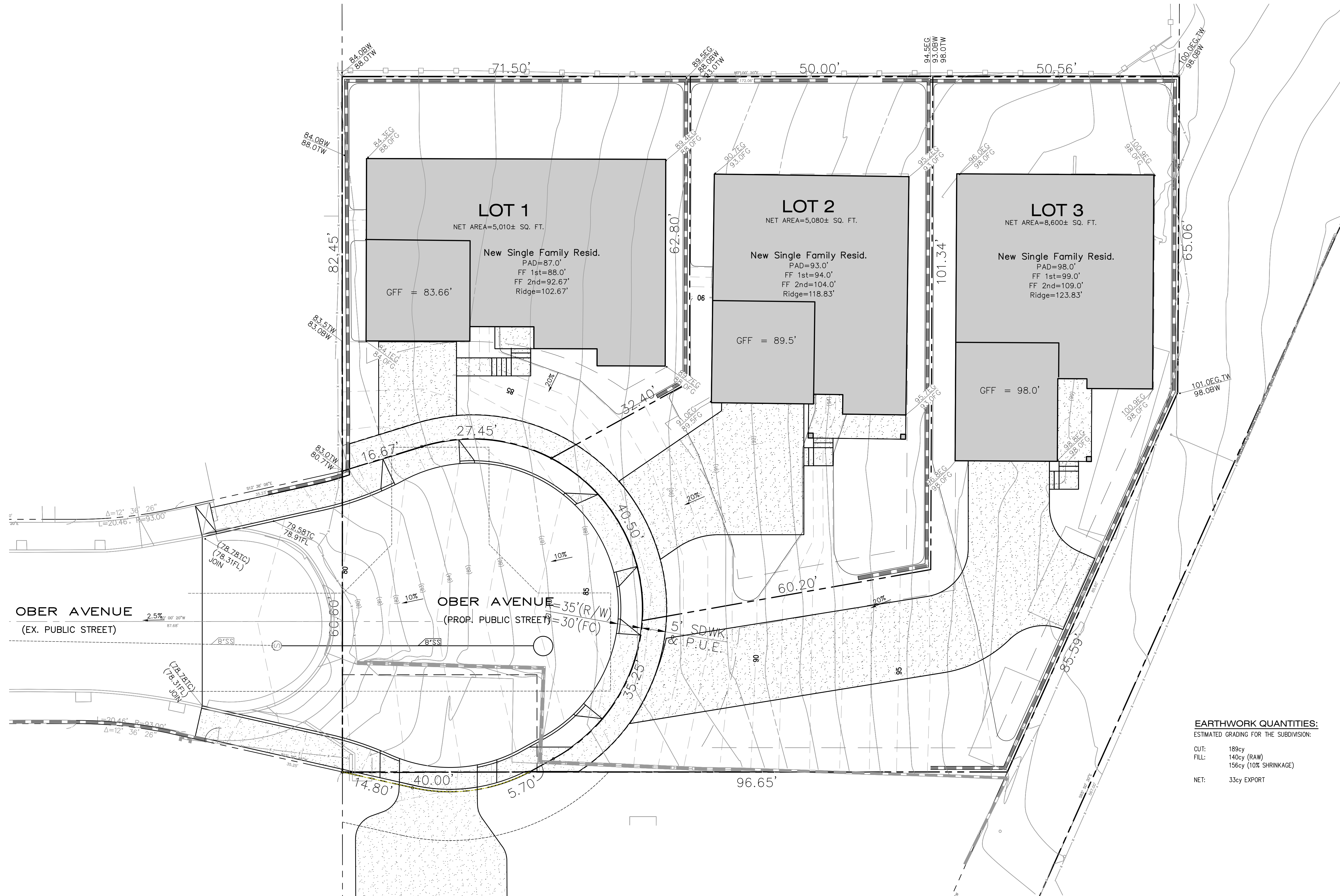


Bolton Engineering Corp.
 Civil Engineering & Surveying
 25834 Narbonne Avenue Ste. 210
 Lomita, CA 90717
 BEC JOB NO. 19128

CONCEPT GRADING PLAN
 Scale: 1" = 10'-0"

MINOR LAND DIVISION
Vesting Tentative Parcel Map #83029
 Located in the City of Lomita, County of Los Angeles, State of California

April 21, 2021



APPLICANT/DEVELOPER:

Kevin McMinn
 3702 Ocana Avenue
 Long Beach CA 90808

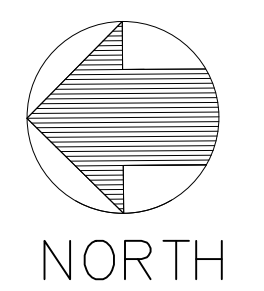
ENGINEER / MAP PREPARED BY:

BOLTON ENGINEERING CORP.
 25834 Narbonne Ave #210
 Lomita, CA 90717
 Phone: (310) 325-5580
 Contact: Daniel J. Bolton
 RCE 63290 EXP. 6/30/18

EARTHWORK QUANTITIES:

ESTIMATED GRADING FOR THE SUBDIVISION:

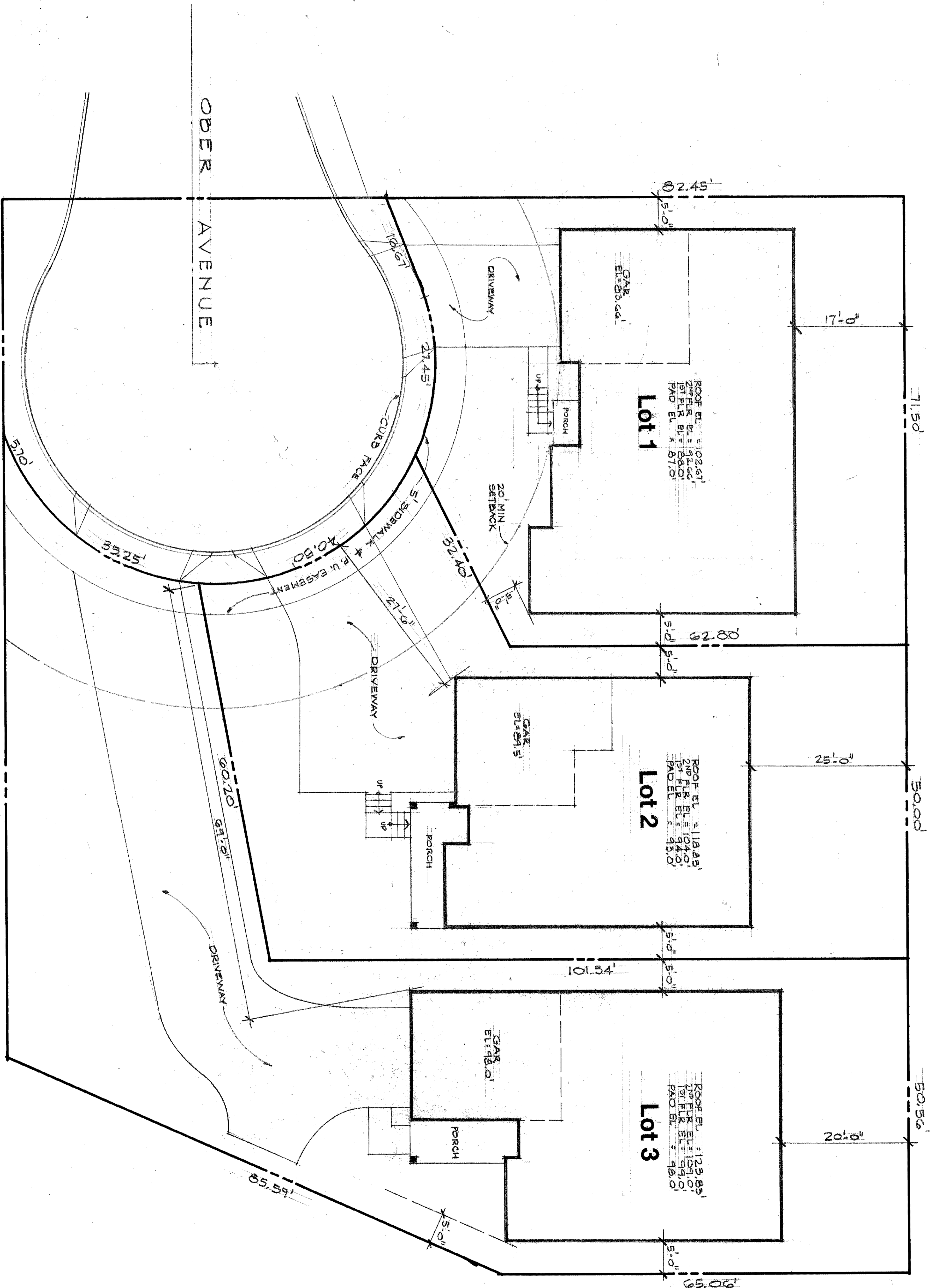
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 FILL: 140cy (RAW)
 156cy (10% SHRINKAGE)
 NET: 33cy EXPORT



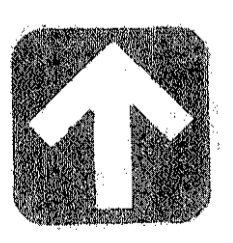
CONCEPT SITE DEVELOPMENT PLAN

Scale: 1" = 10'-0"

Bolton Engineering Corp.
 Civil Engineering & Surveying
 25834 Narbonne Avenue Ste. 210
 Lomita, CA 90717
 BEC JOB NO. 19128



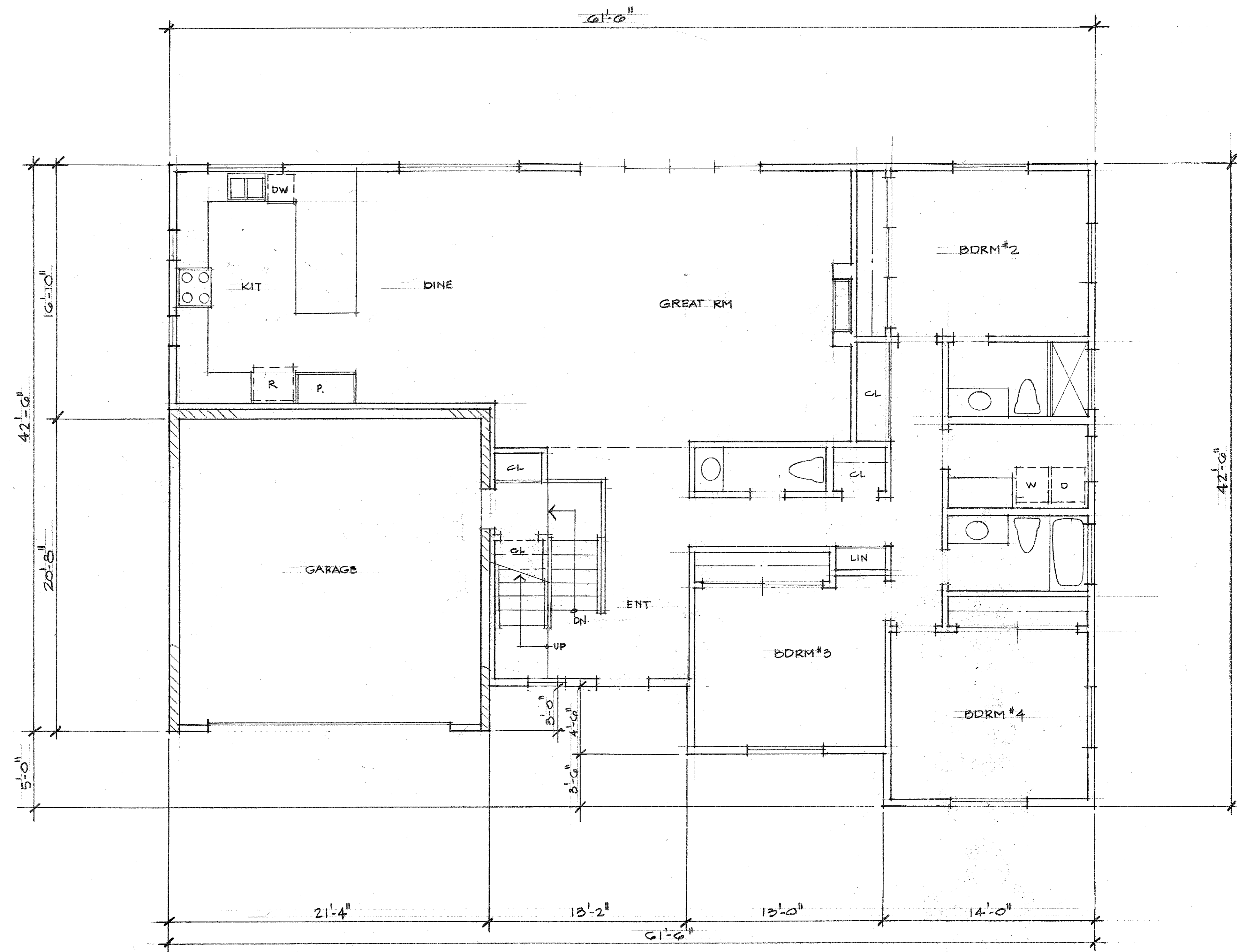
SITE PLAN
1/8" = 1'-0"



REVISED HT. 4-15-21

TWO STORY HOME FOR :
KEVIN McMINN
 26275 APPIAN WAY
 LOMITA, CALIFORNIA 90717

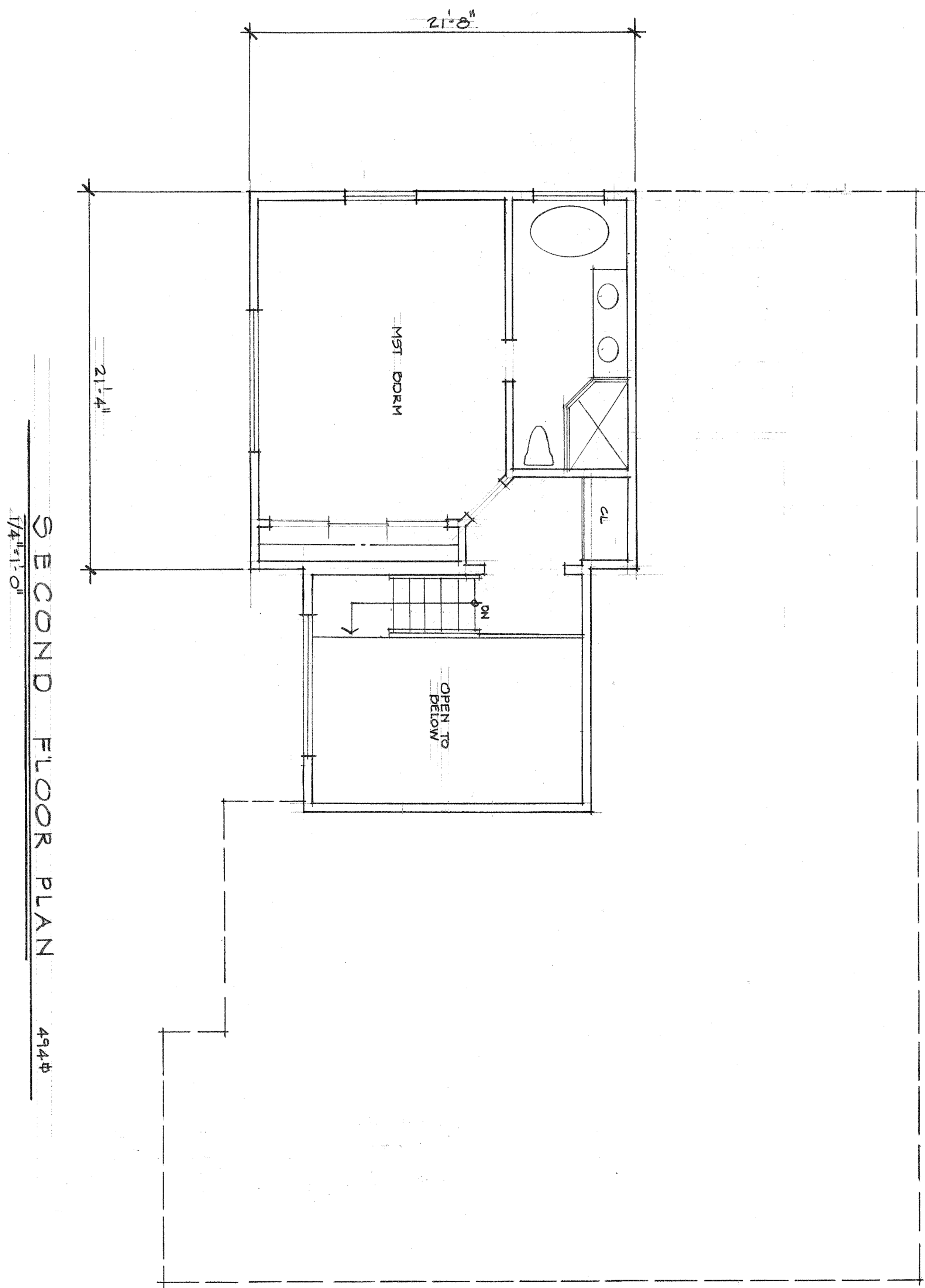
rescom designs
 RESCOMDESIGNS@EARTHLINK.NET
 PHONE : 310-748-9914 FAX 310-323-5262



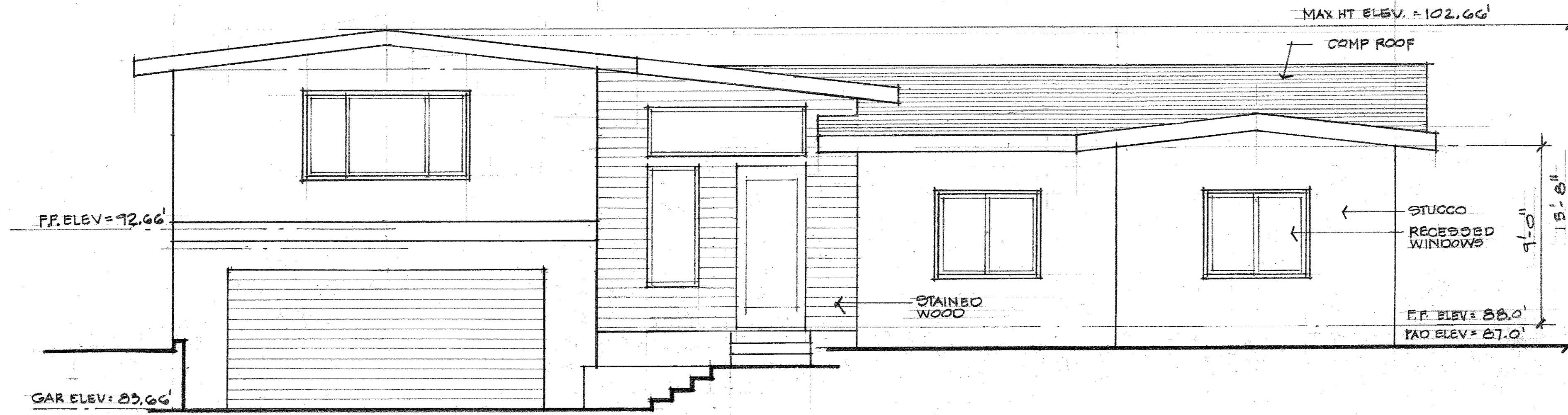
FIRST FLOOR PLAN

1/4" = 1'-0"

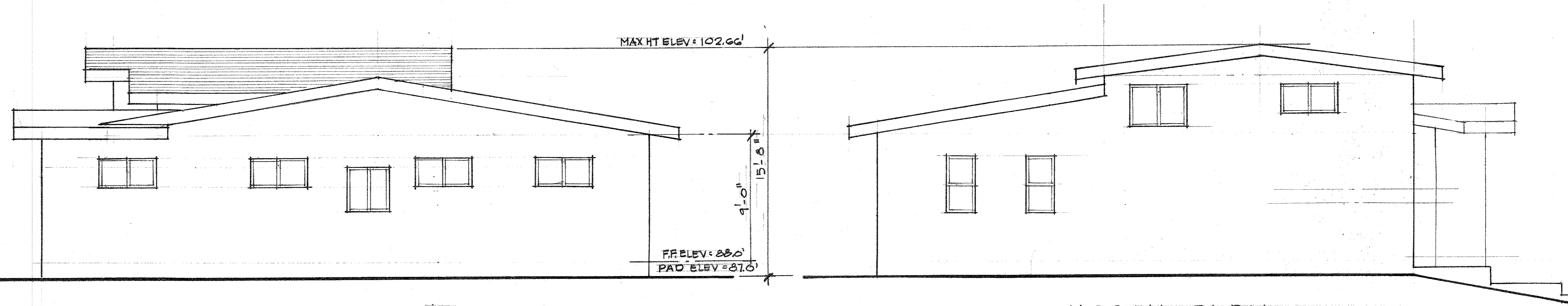
1ST FLR	1915 #
2ND FLR	494 #
TOTAL	2409 #
GARAGE	441 #



SECOND FLOOR PLAN
1/4"=1'-0"
49'-4"

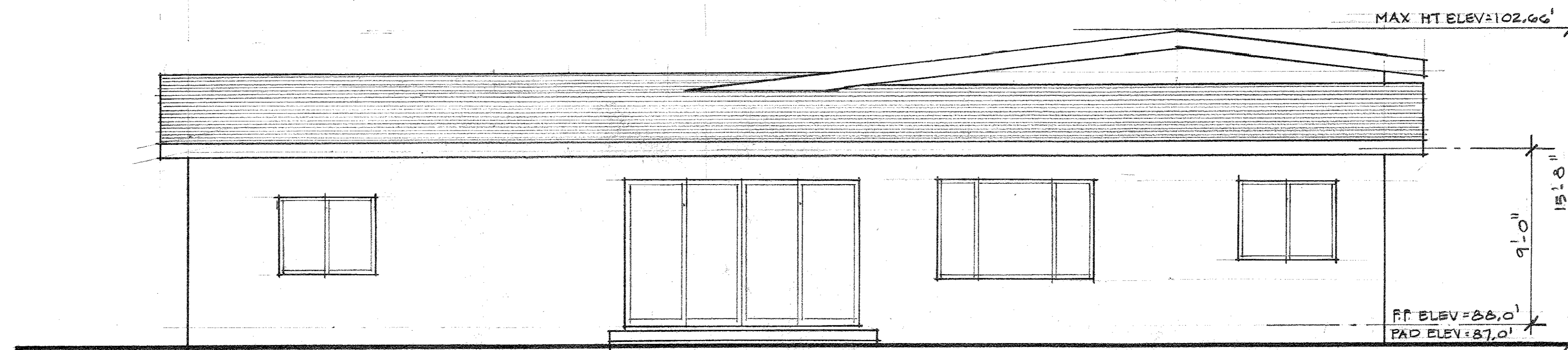


WEST ELEV.
1/4" = 1'-0"



SOUTH ELEV

NORTH ELEV.



EAST ELEV.

REVISED HT. 4.15.21

Recording Requested by

CITY OF LOMITA

When Recorded Mail to

CITY OF LOMITA
24300 Harbonne Avenue
Lomita, California
90717

78-1015963

ATTACHMENT 10

RECORDED IN OFFICIAL RECORD
OF LOS ANGELES COUNTY, CA
41 MIN. PAST 10 A.M. SEP 13 1978
Recorder's Office

Documentary Transfer T. & S. NONE
County of Los Angeles - Department
of County Engineer Thomas Quinn
By _____

IRREVOCABLE OFFER OF DEDICATION

FREE 1G

I/We, the record owners of the following described property in the City of Lomita, County of Los Angeles, State of California:

SEE LEGAL DESCRIPTIONS ON EXHIBIT "A"
ATTACHED HERETO AND BY THIS REFERENCE
MADE A PART HEREOF.

Do hereby offer to dedicate to the City of Lomita, a municipal corporation an easement for public road and highway purposes in, upon, over and across the parcel designated as Parcel A, and an Easement for Slope Purposes over the parcel designated as Parcel B.

The undersigned agrees to execute an easement deed for public road and highway purposes and for slope purposes over said property whenever the road easement form bearing the precise legal descriptions of the road easement and the slope easement is presented for execution. It is understood that upon its acceptance and recordation, the easement deed shall supersede this agreement and any portion of this agreement that is inconsistent with said easement deed shall cease and terminate and be of no further effect.

It is further understood that this agreement shall be irrevocable upon its acceptance by the City of Lomita and it shall be binding upon the undersigned's successors or assigns.

Dated: 8/27/78

X _____

Jeffrey W. Faver

X _____

TO 447 C
(Individual)

78-1015963

(TI)

STATE OF CALIFORNIA
COUNTY OF Los Angeles } ss.

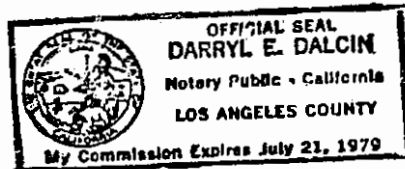
On August 28, 1978 before me, the undersigned, a Notary Public in and for said State, personally appeared Jeffrey W. Faver

to be the person _____ whose name is subscribed to the within instrument and acknowledged that he executed the same.

WITNESS my hand and official seal.

Signature _____

Darryl E. Dalcin
Name (Typed or Printed)



(This area for official notarial seal)

"EXHIBIT "A"

PART A (Road Easement)

That portion of Lot 21, Tract No. 954, as shown on map recorded in Book 17, page 16, of Maps, in the office of the Registrar-Recorder of the County of Los Angeles, within the following described boundaries:

Beginning at a point in the southerly line of the northerly 350.00 feet of said Lot, easterly thereon 56.97 feet from the westerly line of said Lot, said point being the southeasterly corner of Lot 25, Tract No. 21798, as shown on map recorded in Book 600, pages 1 and 2, of Maps, in the office of said Registrar-Recorder; thence S 12°36'46"W along the southerly prolongation of the easterly line of said Lot 25 a distance of 14.74 feet to the beginning of a curve concave to the east, having a radius of 35.00 feet and being tangent to said southerly prolongation; thence southerly along said curve through a central angle of 40°28'43" an area distance of 24.73 feet to a point in a line which passes through the point of beginning and which is parallel to the southerly prolongation of the centerline of Ober Avenue, as shown on said Map of Tract No. 21798; thence N 0°00'20" E along said parallel line 38.38 feet to the point of beginning.

To be known as OBER AVENUE.

PARCEL B (Slope Easement)

That portion of above mentioned Lot 21 within a strip of land 10.00 feet wide, the easterly line of which is the westerly line of above described Part A, the westerly line of said 10 foot strip being parallel with and concentric with said westerly line, the northerly terminus of the westerly line of said 10 foot strip shall terminate in the southerly line of the northerly 350 feet of said lot, the southerly terminus of said last mentioned westerly line shall terminate in the southerly prolongation of the easterly line of above described Part A.

78-1015963

CONSENT TO RECORDATION 78-1015963

The City of Lomita consents to the recordation of the attached offer of dedication pursuant to Section 11535 of the Business and Professions Code. This consent is not an acceptance of the offer to dedicate.

Dated: 9/11/78 By: M. B. Uma
City Administrator

CITY OF LOMITA 1277-12



CITY HALL OFFICES

LOMITA, CALIFORNIA 90717 • (213) 325-7110

RECEIVED: DATE Sept. 11 1978
 FROM J. H. Edwards Co Inc
 STREET 18811 Crenshaw Place
 CITY Torrance Calif 90504

THE AMOUNT OF:			
<u>Fifty and no</u>			100 DOLLARS
ON ACCOUNT NO.	IN FULL	PARTIAL	\$ <u>50 00</u>

OFFICE	MAIL	CASH	CHECK	OTHER
			<u>90-2099</u>	

REMARKS Dea Prep Fee
Certificate of Compliance

PREVIOUS BALANCE	<u>None</u>	AMOUNT PRESENTED	
AMOUNT PAID	<u>Over Due</u>	AMOUNT OF PAYMENT	
NEW BALANCE		CHANGE REFUNDED	

23396 REC'D BY Mank THANK YOU



STEPHEN J. KOONCE
COUNTY ENGINEER

COUNTY OF LOS ANGELES
DEPARTMENT OF COUNTY ENGINEER-FACILITIES
550 SOUTH VERMONT, LOS ANGELES, CA 90020



BOARD OF SUPERVISORS

RAYMOND W. LOOMIS
Assistant County Engineer

(213) 974-1511

PETER F. SCHABARUM
KENNETH HAHN
EDMUND D. EDELMAN
JAMES A. HAYES
BAXTER WARD

JAMES T. ROSTRON
Assistant County Engineer

August 21, 1978

Mr. Darryl E. Dalcin
3754 Falconhead Drive
Rancho Palos Verdes, CA 90274

Dear Mr. Dalcin:

OBER AVENUE DEDICATION

Enclosed are an original and one copy of the Irrevocable Offer of Dedication for your use in processing the required future dedication of road easement and slope easement along the southerly extension of Ober Avenue in the City of Lomita.

Please have Mr. Jeffrey W. Faver execute the document before a notary public and return the original to this office for processing. Please also submit a check in the amount of \$50.00, payable to the City of Lomita, to cover the processing fee.

A right of way map and a return envelope are enclosed for your convenience. Please contact me at 974-1795 if you require additional information or material regarding this matter.

Very truly yours,

STEPHEN J. KOONCE
County Engineer

Thomas Quan
Real Property Agent

SJK:TQ:jc

Enclosures

cc: Mr. Philip Wikoff
Public Works Department
City of Lomita

Recording Requested by

CITY OF LOMITA

When Recorded Mail to
CITY OF LOMITA
24300 Narbonne Avenue
Lomita, California
90717

IRREVOCABLE OFFER OF DEDICATION

I/We, the record owners of the following described property in the City of Lomita, County of Los Angeles, State of California:

SEE LEGAL DESCRIPTIONS ON EXHIBIT "A"
ATTACHED HERETO AND BY THIS REFERENCE
MADE A PART HEREOF.

Do hereby offer to dedicate to the City of Lomita, a municipal corporation an easement for public road and highway purposes in, upon, over and across the parcel designated as Parcel A, and an Easement for Slope Purposes over the parcel designated as Parcel B.

The undersigned agrees to execute an easement deed for public road and highway purposes and for slope purposes over said property whenever the road easement form bearing the precise legal descriptions of the road easement and the slope easement is presented for execution. It is understood that upon its acceptance and recordation, the easement deed shall supersede this agreement and any portion of this agreement that is inconsistent with said easement deed shall cease and terminate and be of no further effect.

It is further understood that this agreement shall be irrevocable upon its acceptance by the City of Lomita and it shall be binding upon the undersigned's successors or assigns.

alordad

[Handwritten signature]

[Handwritten signature]

TO 447 C
(Individual)

STATE OF CALIFORNIA
COUNTY OF Los Angeles } SS.

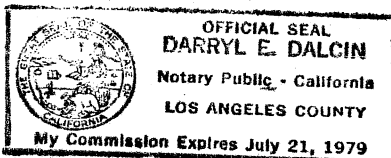
On August 28, 1978 before me, the undersigned, a Notary Public in and for said State, personally appeared Jeffrey W. Faver

to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same.

WITNESS my hand and official seal.

Signature *[Handwritten signature]*

Darryl E. Dalcin
Name (Typed or Printed)



(This area for official notarial seal)

STAPLE HERE

"EXHIBIT "A"

PART A (Road Easement)

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To be known as OBER AVENUE.

PARCEL B (Slope Easement)

That portion of above mentioned Lot 21 within a strip of land 10.00 feet wide, the easterly line of which is the westerly line of above described Part A, the westerly line of said 10 foot strip being parallel with and concentric with said westerly line, the northerly terminus of the westerly line of said 10 foot strip shall terminate in the southerly line of the northerly 350 feet of said lot, the southerly terminus of said last mentioned westerly line shall terminate in the southerly prolongation of the easterly line of above described Part A.

DAVISON

STREET

FD. S & T PER TR.
NO. 21798, M.B. 600/1-2

S'LY LINE OF LOT 25, TR.
NO. 21798, M.B. 600/1-2.

OBER AVENUE

FD. S & T PER TR. NO.
21798, M.B. 600/1-2.

N. 89° 58' 20" E.
56.71

87.91

30.94

20.00

35.00

N. 89° 58' 20" E
20.00

20' x 40' INGRESS-EGRESS ESMT FOR
THE BENEFIT OF PARCEL 1 PER

SLOPE
EASEMENT

136.65

E'LY LINE OF INST. NO. 77-1435038
REC. 12-29-77.

E'LY LINE OF LOT 20, TR.
NO. 954, M.B. 11/16.

N. 0° 00' 20" E 111.09'

42'

21'

21'

N. 0° 00' 20" E.

N. 0° 00' 20" E.

40.00

N. 0° 00' 20" E.

1



**CITY OF LOMITA
PLANNING COMMISSION REPORT**

TO: Planning Commission

May 10, 2021

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Vesting Tentative Tract Map No. 78233/Site Plan Review No. 1209/Zone Variance No. 245/Height Variation Permit No.105
26016 Oak Street in the Residential Variable Density (RVD)-2500 zone

APPLICANT’S REQUEST

The applicant is requesting a Vesting Tentative Tract Map and Site Plan Review for the development of nine townhome units on a 23,418 square-foot lot located at 26016 Oak Street. The request includes a setback modification to allow for reduced front and rear yard setbacks, a Variance to allow for a reduced distance between buildings, and a Height Variation Permit for a new structure over 16 feet in height. This project is categorically exempt from California Environmental Quality Act per Guidelines Section 15332. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (Developer)

RECOMMENDATION

Staff recommends the Planning Commission adopt a resolution providing a formal positive recommendation that the City Council approve the Vesting Tentative Tract Map (VTTM) No. 78233 and adopt a resolution approving Site Plan Review No. 1209, Zone Variance No. 245, Height Variation Permit No. 105 and the corresponding CEQA Categorical Exemption, subject to the conditions of approval contained in the draft resolution (Attachments 1 - 4).

BACKGROUND

Existing Conditions

The subject property is a flat 24,459 gross square-foot parcel. It contains one single-family home and one detached garage, which were built in the 1930s. The parcel is an irregular pentagon shape and possesses street frontage on three sides. Along Oak Street, the street frontage is approximate 210 feet, and there are two driveway aprons. 261st Street, which borders the property on the north and east, is a private road without any existing (or proposed) points of access.

Additional Reviews

Prior to submission to the Planning Commission, the project received the following recommendations and approvals: the Los Angeles County Fire Department recommended project approval, subject to the public hearing process.

2. On February 22, 2021, the City of Lomita's consulting engineer, Quantum Quality Consulting recommended approval of Vesting Tentative Tract Map No. 78233, subject to conditions of approval that have been included in the draft resolution.

Project Description

The applicant proposes to raze the existing single-family residence to make way for nine, two-story townhomes ranging in size between 1,495 and 1,583 square feet. The nine townhome units are distributed between five new buildings and each of the units include an attached two-car garage. The first floor contains an entryway, one bedroom, one bathroom, a laundry closet, and the two-car attached garage. The second floor contains a living room, dining area, kitchen, bathroom, and two bedrooms, one of which is an ensuite master bedroom. Each unit connects to a private outdoor patio and/or deck area. Site access is provided via a proposed 26-foot-wide private drive that intersects with just Oak Street.

As specified in the following development standards table, setback modifications are requested for the front and rear yards and a variance is requested to reduce the minimum distance between buildings. Finally, new development in the RVD-2500 zoning district is limited to an overall height of 27 feet. While the proposed townhomes are 25 feet, 2 inches in height and adhere to the minimum height requirements of the zone, properties located south of Pacific Coast Highway require a Height Variation Permit for any structure with a height in excess of 16 feet. The intent is not to further limit overall height below 16 feet but rather to ensure project design preserves existing views on the hilly terrain typically found south of PCH. The project plans have been included in your packet as Attachment 9.

ANALYSIS

General Plan Designation

The General Plan Land Use designation for the subject property is Medium Density Residential. The Medium Density Residential Land Use designation applies to areas "*developed with multi-family residential land uses and mobile home communities.*" The proposed nine-unit condominium (townhome) development will result in a density of 16.47 units per acre, which is consistent with the General Plan's development density range of 8.7 to 19.8 units per acre.

Zoning Designation

The zoning designation for the subject property is RVD-2500 (Residential, Variable Density-2500). The RVD-2500 Zone is established to create variable density, limited height, multiple family residential areas. The net lot area (after right-of-way dedication) of the subject property is 23,418 square feet. New residential development in the RVD-2500 zoning district is allowed one unit for every 2,500 square feet of net lot area. Based on the net lot size, the maximum number of permissible units is 9 ($23,418/2,500 = 9.3$). Therefore, the proposed nine-unit project is consistent with the maximum density established by the RVD-2500 zoning district.

Adjacent Zoning and Land Uses

The subject property is surrounded by R-1 and RVD 2500 zoned properties.

North	RVD 2500 (Residential, Variable Density 2500) Land use: Mobile homes
South	RVD 2500 (Residential, Variable Density 2500) Land use: Multi-family dwellings
West	RVD 2500 (Residential, Variable Density 2500) Land use: Multi-family dwellings
East	R-1 (Residential, Single Family) Land use: Single-family dwelling

Development Standards Review

The project has been reviewed with §11-1.30.02, §11-1.30.04, §11-1.30.14, §11-1.66.03, MWEL0 (prior regulations§11-1.82) of the LMC as follows:

Development Standard	Project	Allowed/Required	Compliance
Zone	RVD-2500	RVD-2500	Yes
Minimum Lot Size	23,418 square feet (post-dedication)	5,000 sq. ft.	Yes
Minimum Lot Frontage	>200 feet	50 feet	Yes
Building Front Yard Setbacks	Unit 1: >20' Unit 2: 20'10" Unit 3: 20'10" Unit 4: 18'9" Unit 5: 19'1" Unit 6: >20' Unit 7: >20' Unit 8: >20' Unit 9: >20'	20' 20' 20' 20' 20' 20' 20' 20' 20'	Yes Yes Yes No* No* Yes Yes Yes Yes
Building Secondary Setbacks Front:	Unit 1: 10'6"	10'0"	Yes
Building Side Yard Setbacks:	Units 1,2,4-9: ≥5'0" Unit 3: n/a	5'0" n/a	Yes n/a
Building Rear Yard Setbacks:	Unit 1: 5'0" Unit 2: >20' Unit 3: >20' Unit 4: >20' Unit 5: >20' Unit 6: >20' Unit 7: >20' Unit 8: 14'11" Unit 9: 5'0"	20' 20' 20' 20' 20' 20' 20' 20' 20'	No* Yes Yes Yes Yes Yes Yes No* No*
Porch Setback	Unit 1: n/a Unit 2: 11'10" Unit 3: 11'10" Unit 4: 9'9" Unit 5: 10'7" Units 6-9: n/a	n/a 10' 10' 10' 10' n/a	n/a Yes Yes No* Yes n/a
Deck Setback	Unit 1: 5.0' Unit 2: 13.33' Unit 3: 13.33' Unit 4: 11.25'	Secondary Front: 5'0" Front: 15' 0" Front: 15' 0" Front: 15' 0"	Yes No* No* No*

Development Standard	Project	Allowed/Required	Compliance
	Unit 5: 11.83' Unit 6: n/a Unit 7: n/a Unit 8: 7'0" Unit 9: >15'	Front: 15'0" n/a n/a Rear: 15' 0" Front: 15'0"	No* n/a n/a No* Yes
Fireplace Setback	Units 5-8:1'6"	2'6"	Yes
Height	25' 2"	27' 0"	Yes**
Distance Between Buildings	Units 1 & 2: 7'10"	10'	No***
3-bedroom Unit Size Min.	1,498 sf	1,150 sf min.	Yes
Off-Street Parking	2 enclosed parking spaces/unit = 18 total	2 enclosed parking spaces/unit = 18 total	Yes
Visitor Parking	2 spaces	1 guest space for every two units w/out street frontage	Yes
Driveway Width	26 feet	26 feet	Yes
Open Space Total: Rec./Patio/Deck Total:	>3,000 square feet 1,553 square feet	2,700 square feet 1,350 square feet	Yes Yes
Laundry Area	Hookups in every unit	1 washer & dryer/6 units	Yes
Waste Storage Area	5' x 21' enclosed common trash area	Adequate trash areas must be provided determined by PC and Building Official	Yes
Model Water Efficient Landscape Ordinance	Submission prior to plan check	Prescriptive Method	Required

* Site Plan Modification Requested

** Complies with RVD-2500 Maximum Height but is subject to a Height Variation Permit due to project location south of Pacific Coast Highway

***Zone Variance

Architectural Design

The proposed townhome development separates the nine units into five buildings, which consist of a three-unit building, two two-unit buildings, and two one-unit buildings. All the buildings' roofs have a pitch, and the maximum ridge height is 25'2". The exterior design includes vertical and horizontal elements. Units 1-5 have street facing entrances, porches, patios, and covered decks. The porches and covered decks are both functional and aesthetically pleasing. They occupy approximately 50% the unit's front and add dimension to what would otherwise be a nondescript facade.

Parking Analysis

The project meets the code-required parking for multi-family uses. Eighteen enclosed parking spaces are provided (two enclosed spaces per unit) and the interior dimensions of the garage are 20 feet by 20 feet. (§11-1.66.07). The site has an ample common trash area; therefore, the garages' floor space is free and clear for the vehicle parking.

Per Sec. 11-1.30.14, units with street frontage shall not be used to calculate the guest parking requirement. For this project, two 9-foot by 19-foot guest parking spaces are required and provided. Currently, there are two curb cuts on Oak Street. The project will only be requiring one curb cut and though slightly larger because of spacing, the reduction of one driveway apron should allow for an additional street parking space.

Circulation and Access

The project is located on Oak Street about a quarter mile south of Pacific Coast Highway. PCH is the only street that connects Oak Street to the greater roadway system. Vehicle access to the project site will be provided from a 26-foot-wide driveway that intersects with Oak Street. The project's ingress and egress route is designed to meet City engineering standards, and no safety issues have been identified.

261st Street is a dead-end private street and borders the property on the north and east. There is no access to or from the subject property to 261st Street.

262nd Street provides access for pedestrians and cyclists. As a result of the five-foot right-of-way dedication, the sidewalk along 26016 Oak Street will be widened, and a parkway created; these improvements will make the street more walkable.

Traffic Study

The City requires a major traffic study for projects with 10 or more units. This project falls below that threshold. For comparison, a recent traffic study for 25819 Eshelman Avenue's 10-unit project reported that that project would generate 60 trips/day. South of PCH, more than 375 housing units are along Oak Street, and it is close to being fully developed. An eight-unit net increase should not significantly affect congestion.

Landscape

Landscape is proposed along the projects' perimeter, adjacent to the buildings, and next to the driveways where feasible. The front yard's landscape area exceeds the 50% landscape area requirement. As a condition of approval, the applicant must submit a MWELO-compliant landscape plan for review and approval by the Community and Economic Development Department and a right-of-way landscape plan to the Public Works Director.

Site Plan Review No. 1209/Modification

Pursuant to Section 11-1.70.07, multi-family developments within the RVD Zone are subject to the site plan review requirements and require Findings #1-3 below. Pursuant to Section 11-1.70.08, yard setback modifications may be approved provided that Finding #4 is satisfied. Staff has analyzed the project and determined that it is consistent with the required findings, as follows:

1. *The Site Plan complies with all applicable provisions of Title 11.*

As set forth in the Development Standards table, the project complies with the maximum quantity of units, unit size, parking, driveway width, landscape, open space, onsite laundry, and common trash area development standards, as well as right-of-way requirements. The project seeks front and rear yard setback modifications, a height variation permit for a building height of 25'2", and one variance for the distance between Unit 1 and Unit 2. Further justification for the setbacks and height are provided below, but the project adheres to Title 11 in all other aspects.

2. *The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.*

The subject site is a suitable size for nine condominium units. The prescribed development standards are substantially adhered to and any proposed modification to setbacks will not adversely affect public health, safety, the general welfare, or have any adverse effects on neighboring properties.

With 18 enclosed parking spaces and two guest parking spaces, the project complies with the off-street parking requirement. The site has been designed with one 26-foot-wide driveway that provides direct access to Units 5-8's garages. A second driveway aisle branches off the main driveway aisle and provides access to Units 1-4 & 9's garages. Although Units 4 & 5, which are along the driveway, are requesting front yard setback modifications (1'3" and 11" respectively), the encroachment into the front yard is minor. It would not obstruct a driver's field of vision and is not a safety concern.

The project creates a net increase of eight units on this very well-developed street. The length of the street, the lack of any other intersecting through streets, and the approximately 375 units along Oak Street contribute to the existing traffic congestion. The traffic generated from this project will not add significantly to the existing traffic.

A common refuse area is positioned away from the neighboring properties and located along the property line shared with 261st Street. Exterior lighting will need to be provided. To ensure lighting does not impact neighboring properties, Condition of Approval No. 45 has been added requiring the Director of Community and Economic Development's approval.

The project is consistent with the General Plan's Medium Density Residential designation. The lot will have a density of 16.47 units per acre, which conforms to the density range (8.72 to 19.8 units per acre) specified in the General Plan. Also, to comply with the Circulation Element's local right-of-way standard, the project will dedicate five feet to provide a sidewalk and parkway within the Oak Street right-of-way.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design is both suitable and functional. The development's mass is divided into five buildings and creates a courtyard-like setting around the common driveways. The design is consistent with the neighborhood, which contains a mixture of one and two-story single-family dwellings, and one and two-story attached multi-family housing both in the form of condominiums and apartments.

Ten-foot-long patios and porches satisfy the recreation space requirement. Seven of the nine units will have decks that provide outdoor access from the main living area. This feature enhances many owners' enjoyment of their homes. The Code allows decks to project five feet into the 20-foot front yard setback, thereby allowing decks to be 15 feet from the front property line. In an attempt to create highly functional and meaningful outdoor spaces, the applicant increased the overall depth of the patios and seeks front yard setback modifications to allow for this amenity.

Specifically, Units 2-5 seek a front yard setback deviation ranging between 1'8" and 3'9" as measured to the decks. Units 2-4 decks are integrated into the porches' roofs and Unit 5's deck is located directly above the patio.

Unit 4 and Unit 5 seek a 1'3" and 11" front yard building setback modifications and Unit 4 seeks a 3" porch setback modification.

To foster the private outdoor space's optimal use, a condition has been added that all of the decks and Unit 6 and Unit 7's patios be equipped with water, gas, and electric utilities, and that all patios be equipped with a water spigot so that the area may be cleaned as needed.)

These front yard setback modifications will not be out-of-keeping with the area. Several nearby properties have buildings with existing front yard setbacks less than 20 feet. Due to the five-foot right-of-way dedication, Unit 4 and Unit 5's front yard setback modifications will not project past the building line of the adjacent property. To the north, 261st Street separates the property from a mobile home park, which situates the mobile homes less than 10 feet from the sidewalk, so there isn't a visual expectation of a 20-foot front yard setback line.

Unit 1, Unit 8, & Unit 9 propose rear yard setback modifications. All of these units are along the eastern property line and orientated north-south, which makes this property line function like a side yard instead a rear yard. Unit 1 & Unit 9 are freestanding buildings that share a property line with 261st Street and are situated five feet from the property line, instead of 20 feet. Unit 8 proposes a 5'1" building rear yard setback modification and an 8' rear yard setback modification for a deck. It shares a property line with 2070 261st Street, which is also orientated north-south, and its side yard abuts this property line.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

Partially due to street design and partially due to land division, the subject site (26016 Oak Street) is an irregular shape with an atypical long street frontage, which make it unique from neighboring properties. The shape and long street frontage make it impractical to require complete compliance with the typical setback requirements designed to regulate development on rectangular shaped lots with approximately a quarter of the street frontage. On Oak Street the property has over 200 lineal feet of street frontage, whereas the Code's minimum is 50 feet. The amount of area required for the front yard setback is four times more than a typical property would have to provide.

Also, the abutting properties (including 261st Street) were created from grant deeds prior the City's incorporation, and the resulting property lines created this oddly shaped lot. Instead of being perpendicular to the street, the southernly property line is on a diagonal. To the east along 261st Street, there is an extra 20-foot wide by 125-foot-long strip of land that is tied to the parcel; however, the easterly property line is 182 feet long. The lot's shape has affected the driveway layout. Instead of having one common driveway aisle, this development has two which adds to the lot's non-buildable area.

Due to these circumstances, complying with the front and rear setback requirements is an unreasonable regulation and the code provides flexibility mechanisms to account for unreasonable applications of code standards.

Zone Variance

A variance to allow a 7'10" distance between buildings (Unit 1 and Unit 2) where 10'0 is typically required is subject to review and approval by the Planning Commission under LMC Section 11-1.30.14(B)(1), pursuant to the provisions of Section 11-1.70.10 (Zone Variance). After reviewing the proposed development in accordance with Article 70, staff has determined that the proposed project is consistent with the following required findings for a variance:

1. *There are exceptional or extraordinary circumstances or conditions applicable to the property involved, including size, shape, topography, location, or surroundings, which do not generally apply to the surrounding properties in the same zone; and which deny the owner privileges enjoyed by other property owners in the vicinity and within the same zoning district;*

This property is subject to extraordinary circumstances and conditions that do not generally apply to the surrounding properties in the same zone. The property has a unique five-sided shape but is still generally the shape of a pentagon. It has greater frontage than it does depth, and it is more than two and a half times the depth at the lot's southerly portion than at the northerly portion. This irregular shape stems from to how the land was subdivided before the City's incorporation, which includes the curved shape of Oak Street and 261st Street's curved street designs. It is common that other properties in the RVD-2500 can create dwelling units of similar or greater bed/bath combinations and sizes without having to contort the development's design.

2. *Because of the circumstances or conditions, the variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties similarly situated but which is denied to the property in question;*

Because of the aforementioned land development history, and irregular lot and street designs, the Code's universal standards afford other properties in the RVD-2500 Zone an efficient use of their lot's area; however, those universal standards unintentionally create further restrictions on this atypical property's development.

3. *The granting of the variance will not be materially detrimental to the public welfare or injurious to the adjacent property; and*

Granting this variance has no foreseeable way to be material detrimental to public welfare or injurious to the adjacent property owner as it is limited to the space between two buildings on the subject property. Nor would it be materially detrimental to the future owners of Unit 1 and Unit 2. The distance between the buildings is greater than 10 feet for the vast length of both buildings. At the farthest point, the buildings are 21'8" apart and then taper to 7'10". The layout of each building has stairwells along these outside walls, so there's no foreseeable noise impacts or types of disruptive activity.

4. *The granting of the variance is consistent with the General Plan.*

The General Plan's Housing Element (2013) encourages a diversity of housing types, sizes, locations, and costs in accordance with the City's land use policies. Granting the variance is consistent as it removes a specific hardship to creating typical multifamily housing townhomes.

Review of the Height Variation Permit

The overall height requirement is 27 feet in the RVD-2500 zoning district. The proposed project includes five buildings with an overall height of 25 feet, two inches. While the proposed height of the townhomes is compliant with minimum development standards, properties located south of Pacific Coast Highway are subject to additional height review to ensure views are preserved. To be clear, the overall height requirement remains 27 feet. However, any proposed structure in excess of 16 feet in height is subject to additional review to ensure views are maintained. Section 11-1.70.11 of the City Code states that the intent and purpose of the view protection article is to provide for the public health, safety and welfare through the regulation of development in and adjacent to hillside areas in order to protect significant views.

Per the municipal code Section 11-1.15.22, a "significant view" contains at least 45 compass degrees as seen from a viewing area on the ground floor of a residence or from a patio, deck or similar accessory structure not more than 16 feet above natural grade and not in the required setback areas. Section 11-1.15.22 defines a view as a scene, not located within the immediate area, such as, but not limited to, the ocean, Los Angeles Basin, city lights, harbor, shoreline, off-shore islands, valley, ravine, equestrian trails or pastoral environment.

Height Variation Permits are first subject to administrative review by the Director of Community and Economic Development. Notices are sent to the surrounding community and if more than 5% of the neighbors oppose the proposed height, then the request is elevated to the Planning Commission for review. On May 16, 2019, property owners within 300 feet of the subject property were sent notices of the proposed development. Properties located directly adjacent were also sent reduced sets of plans of the proposal. Of those noticed (97 properties total), seven objection letters were received before the deadline, which meets the minimum 5% requirement for Commission consideration during a public hearing. The project's slow progression was in part due to delays in completing required sewer and water studies. (Public Works found those studies satisfactory.)

Section 11-1.70.11 of the Zoning Code states that when considering a height variation permit, the Planning Commission may accept testimony relative to privacy, neighborhood compatibility, and other similar issues. Conditions may be attached to approvals to mitigate such problems but in approving a Height Variation Permit, the Planning Commission shall base approval on the following findings:

1. An existing significant view will not be obstructed by the proposed construction; or

Staff has visited the subject property and neighborhood several times. Within 300-feet of the subject property, the area possesses a very minor change in grade. Written objections (Attachment 13) primarily pertained to a host of issues other than view, such as parking, sunlight, loss of trees, and dust, which are concerns, but not qualifying reasons to deny the proposed 25'2" height. This area has a relatively flat topography, and staff did not observe any significant views as defined in the Code that would be impacted. Furthermore, the proposed height of 25'2" is below the maximum height requirement of 27 feet applicable to all other areas of the City with an RVD-2500 zoning designation.

2. The proposed construction is designed to be the least intrusive on the existing view of neighboring property owners or occupants.

Though the proposed development's design is requesting setback modifications, those modified distances do not have any impact on any of the surrounding properties' views. As a result of the absence of views as defined by the Code, the construction cannot possibly be considered intrusive.

Review of Vesting Tentative Tract Map

In February 2021, the City's consulting engineer, Quantum Engineering, finalized their review and recommended approval of VTTM No. 78233 with conditions. The City Public Works and Engineering staff also reviewed the tract map. The Los Angeles County Fire Department's Land Development Division reviewed the tract map and site plan, and recommended approval.

Findings

Pursuant to California Government Code Section 66410 et seq., Section 66412.3, (Subdivision Map Act), Section 11-2.116 of the Lomita Municipal Code, and the City's General Plan, based on the entire record before the Planning Commission and all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

1. *The proposed subdivision is designed, to the extent feasible, to provide for passive or natural heating or cooling opportunities.* (See Gov. Code Section 66473.1.)

The design of the subdivision balances hardscaped and landscaped surfaces. Landscaped areas fill spaces not necessary for circulation and will provide shade for paved surfaces. A parkway will be created from the five-foot right-of-way dedication and street trees will be planted every 50 linear feet. The design of the westerly-facing units includes covered porches and deck spaces which shield several doors and windows from direct sunlight.

2. *The proposed subdivision and the provisions for its design and improvement are consistent with the general plan for the City of Lomita ("General Plan"),* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site has a General Plan Land Use Designation of Medium Density Residential and the proposed condominium project is compatible with the surrounding uses which consist of single-family dwellings, multi-family dwellings and a mobile home park. The site is physically suitable for the density of development. The site has a density of 16.47 dwelling units per acre and accommodates a maximum of 9 units which is both consistent with the density range established by the Medium Density Residential Land Use designation of the \ General Plan and the density development standard of one unit for every 2,500 square feet of lot area, as outlined by the RVD-2500 zoning district.

3. *The Subject Site is physically suitable for the type and density of development proposed in the Tentative Tract.* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed use and development of a 9-unit condominium development. The proposed development will have adequate street access for pedestrians and vehicles, and also adequate capacity for parking and traffic. The parcel is an irregular pentagon shape and possesses street frontage on three sides. The development will have pedestrian and vehicular accessibility via one entry point located on Oak Street. The internal driveway will provide full access to the development. The proposed development requires two parking spaces within an enclosed garage for each unit and one guest parking space for each unit without direct street frontage. The proposed development provides a total of 18 enclosed parking spaces within garages and two guest parking spaces. The project design meets the required parking standards and promotes safe and convenient pedestrian and vehicular circulation. A condition of approval has been included for a five-foot dedication for a sidewalk and parkway to be established.

4. *The subdivision design and improvements proposed in the Tentative Tract Map are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat.* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The subject property is a flat 23,418-square-foot parcel developed with one single-family home and one garage, which were built in the 1930s. The vegetation on the site includes introduced shrubs and trees. There are several mature trees that provide significant canopy

coverage. None of the existing urban introduced landscaping is a candidate for sensitive or special status species. The project would not significantly impact wildlife or wildlife habitat. A condition of approval has been included to require the removal of existing trees outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

5. *The subdivision design and type of improvements proposed in the Tentative Map are not likely to cause serious public health problems because all development and public improvements will be performed per the requirements of all applicable standards and codes, including the zoning and building codes. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The site is physically suitable for the type of development. The project meets all the required development standards as shown in the approved plans associated with Site Plan No. 1209, Zone Variance No. 245 and Height Variation Permit No. 105.

6. *The subdivision design and type of improvements proposed in the Tentative Map will not conflict with easements acquired by the public at large for access through or use of the Subject Site. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the tract map. The existing rights-of-way remain intact and there is no foreseeable interference.

7. *The discharge of waste into an existing sewer system from development proposed in the Tentative Map will not cause a violation of existing requirements prescribed by the local water quality control board. (See Gov. Code Section 66474.6.)*

The design of the subdivision will discharge waste into an existing community sewer system and will not result in violation of existing requirements prescribed by Los Angeles Regional Water Quality Control Board per Division 7 of the Water Code.

8. *The subdivision and improvements proposed in the Vesting Tentative Tract Map help the City of Lomita meet its regional housing needs. (See Gov. Code Section 66412.3.)*

The Housing Element noted that more than 32% of households in 2013 were overpaying for their housing. Multi-family townhome developments are typically a more affordable option to purchase/rent and maintain than single-family homes.

Therefore, pursuant to the Municipal Code and Government Code Sections 66473.5 and 66474 (A through G), the proposed tract map qualifies for approval.

Environmental Determination

Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment and has attached the Notice of Exemption as Attachment 9 to this staff report.

Public Notice

Notice of this hearing, dated April 29, 2021 were mailed to property owners within 300 feet of the subject property and posted at the subject site, City Hall, Lomita Park and on the web page. As of the date this staff report was prepared, several letters against the proposed project's height from 2019 were received and are presented in Attachment 12.

Recommended by:



Greg Kapovich
Community and Economic
Development Director

Prepared by:



Laura MacMorran
Assistant Planner

ATTACHMENTS:

1. Draft Resolution (SPR No. 1209) with Attachment “A” Quantum Consulting and LA County Fire Department’s Recommendation and Conditions of Approval
2. Draft Resolution (VAR No. 245)
3. Draft Resolution (Height Variation Permit No.105)
4. Draft Resolution (VTTM No. 78233)
5. Vicinity Map
6. Zoning Map
7. General Plan Map
8. Aerial Photograph
9. Notice of Exemption
10. Vesting Tentative Tract Map
11. Site Plan, Elevations, & Floor Plan
12. Letters of Objection to Height Variation Permit

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LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING SITE PLAN REVIEW NO. 1209 TO ALLOW A NINE-UNIT MULTI-FAMILY RESIDENTIAL (TOWNHOME) DEVELOPMENT FOR THE PROPERTY LOCATED AT 26016 OAK STREET WITHIN THE RVD-2500 (RESIDENTIAL VARIABLE DENSITY) ZONE. FILED BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278 (DEVELOPER)

Section 1. Recitals

- A. On May 10, 2021, the Planning Commission of the City of Lomita has considered an application for a nine-unit multi-family residential (townhome) development with front and rear yard setback modifications for the property located at 26016 Oak Street within the RVD-2500 (Residential Variable Density) Zone filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278
- B. Pursuant to Section 11-1.30.1 of the Lomita Municipal Code, multi-family developments are subject to the Planning Commission's site plan review and approval.
- C. Pursuant to Section 11-1.30.02 of the Lomita Municipal Code, front yard and rear yard setback modifications are permitted, subject to Section 11-1.70.08 and approval.
- D. Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption.
- E. On May 10, 2021, the Planning Commission held a duly noticed public hearing and accepted public testimony.

Section 2. Pursuant to Sections 11-1.70.07 (Site Plan Review) and 11-1.70.08 (Modifications) of the Lomita Municipal Code, the Planning Commission of the City of Lomita finds, after due study and deliberation that the following circumstances exist:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the Development Standards table, the project complies with the maximum quantity of units, unit size, parking, driveway width, landscape, open space, onsite laundry, and common trash area development standards, as well as right-of-way requirements. The project seeks front and rear yard setback modifications, a height variation permit for a building height of 25'2", and one variance for the distance between Unit 1 and Unit 2. Further justification for the setbacks and height are provided below, but the project adheres to Title 11 in all other aspects.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

The subject site is a suitable size for nine condominium units. The prescribed development standards are substantially adhered to and any proposed modification to setbacks will not adversely affect public health, safety, the general welfare, or have any adverse effects on neighboring properties.

With 18 enclosed parking spaces and two guest parking spaces, the project complies with the off-street parking requirement. The site has been designed with one 26-foot-wide driveway that provides direct access to Units 5-8's garages. A second driveway aisle branches off the main driveway aisle and provides access to Units 1-4 & 9's garages. Although Units 4 & 5, which are along the driveway, are requesting front yard setback modifications (1'3" and 11" respectively), the encroachment into the front yard is minor. It would not obstruct a driver's field of vision and is not a safety concern.

The project creates a net increase of eight units on this very well-developed street. The length of the street, the lack of any other intersecting through streets, and the approximately 375 units along Oak Street contribute to the existing traffic congestion. The traffic generated from this project will not add significantly to the existing traffic.

A common refuse area is positioned away from the neighboring properties and located along the property line shared with 261st Street. Exterior lighting will need to be provided. To ensure lighting does not impact neighboring properties, Condition of Approval No. 45 has been added requiring the Director of Community and Economic Development's approval.

The project is consistent with the General Plan's Medium Density Residential designation. The lot will have a density of 16.47 units per acre, which conforms to the density range (8.72 to 19.8 units per acre) specified in the General Plan. Also, to comply with the Circulation Element's local right-of-way standard, the project will dedicate five feet to provide a sidewalk and parkway within the Oak Street right-of-way.

3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.

The development design is both suitable and functional. The development's mass is divided into five buildings and creates a courtyard-like setting around the common driveways. The design is consistent with the neighborhood, which contains a mixture of one and two-story single-family dwellings, and one and two-story attached multi-family housing both in the form of condominiums and apartments.

Ten-foot-long patios and porches satisfy the recreation space requirement. Seven of the nine units will have decks that provide outdoor access from the main living area. This feature enhances many owners' enjoyment of their homes. The Code allows decks to project five feet into the 20-foot front yard setback, thereby allowing decks to be 15 feet from the front property line. In an attempt to create highly functional and meaningful outdoor spaces, the applicant increased the overall depth of the patios and seeks front yard setback modifications to allow for this amenity.

Specifically, Units 2-5 seek a front yard setback deviation ranging between 1'8" and 3'9" as measured to the decks. Units 2-4 decks are integrated into the porches' roofs and Unit 5's deck is located directly above the patio.

Unit 4 and Unit 5 seek a 1'3" and 11" front yard building setback modifications and Unit 4 seeks a 3" porch setback modification.

To foster the private outdoor space's optimal use, a condition has been added that all of the decks and Unit 6 and Unit 7's patios be equipped with water, gas, and electric utilities, and that all patios be equipped with a water spigot so that the area may be cleaned as needed.)

These front yard setback modifications will not be out-of-keeping with the area. Several nearby properties have buildings with existing front yard setbacks less than 20 feet. Due to the five-foot right-of-way dedication, Unit 4 and Unit 5's front yard setback modifications will not project past the building line of the adjacent property. To the north, 261st Street separates the property from a mobile home park, which situates the mobile homes less than 10 feet from the sidewalk, so there isn't a visual expectation of a 20-foot front yard setback line.

Unit 1, Unit 8, & Unit 9 propose rear yard setback modifications. All of these units are along the easternly property line and orientated north-south, which makes this property line function like a side yard instead a rear yard. Unit 1 & Unit 9 are freestanding buildings that share a property line with 261st Street and are situated five feet from the property line, instead of 20 feet. Unit 8 proposes a 5'1" building rear yard setback modification and an 8' rear yard setback modification for a deck. It shares a property line with 2070 261st Street, which is also orientated north-south, and its side yard abuts this property line.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

Partially due to street design and partially due to land division, the subject site (26016 Oak Street) is an irregular shape with an atypical long street frontage, which make it unique from neighboring properties. The shape and long street frontage make it impractical to require complete compliance with the typical setback requirements designed to regulate development

on rectangular shaped lots with approximately a quarter of the street frontage. On Oak Street the property has over 200 lineal feet of street frontage, whereas the Code's minimum is 50 feet. The amount of area required for the front yard setback is four times more than a typical property would have to provide.

Also, the abutting properties (including 261st Street) were created from grant deeds prior the City's incorporation, and the resulting property lines created this oddly shaped lot. Instead of being perpendicular to the street, the southernly property line is on a diagonal. To the east along 261st Street, there is an extra 20-foot wide by 125-foot-long strip of land that is tied to the parcel; however, the easterly property line is 182 feet long. The lot's shape has affected the driveway layout. Instead of having one common driveway aisle, this development has two which adds to the lot's non-buildable area.

Due to these circumstances, complying with the front and rear setback requirements is an unreasonable regulation and the code provides flexibility mechanisms to account for unreasonable applications of code standards.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lomita hereby approves Site Plan Review No. 1209, subject to the attached conditions.

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated April 19, 2021 ("Attachment 11") on file with the Planning Division. The project shall conform to Attachment 11, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community and Economic Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structure. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that city code requirements are met.
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community and Economic Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.

6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend, and hold harmless the City and its agents, officers, and employees from and against any claim, action, or proceeding to attack, review, set aside, void, or annul the approval of the resolution or any condition attached thereto or any proceedings, acts, or determinations taken, done, or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
7. Any covenants, conditions, and restrictions (CC&R's) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&R's and the City Code or this permit, the City Code or this permit shall prevail.
8. Developer shall provide 18 enclosed off-street parking spaces and 2 guest parking spaces for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code.
9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property.
12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief.
13. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.
14. Prior to issuance of building permits, Developer shall sign a letter agreeing to the conditions of approval within this resolution.

LANDSCAPING STANDARD CONDITIONS

15. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of MWELO-compliant landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans.
16. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by the Community and Economic Development Director.

17. Developer, and future Homeowners Association shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit.
18. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit.
19. Before the City issues building permits for a residential development that includes any model houses, Developer shall obtain the approval of the Community and Economic Development Director for a low water-using landscape plan. Developer shall install low water-using landscape design and irrigation systems for at least one of the model houses in any cluster of two or more model houses, thereby demonstrating to prospective buyers the feasibility and aesthetic qualities of low water-using landscape design and irrigation systems. Developer shall provide appropriate signs, shown on the landscape plan, explaining that the model house utilizes a low water-using landscape and listing the plant materials used.
20. At the close of escrow or at the time of occupancy of each dwelling unit, Developer shall review with and provide instructions to each buyer concerning the irrigation controller operation and the watering schedules.
21. Developer shall submit four sets of parkway landscape and irrigation plans with the first submittal of public improvement plans. The City shall approve the parkway landscape and irrigation plans when the City approves public improvement plans. Before the City issues a building permit, the irrigation plans must be approved for proper meter size, backflow prevention device, and cross connection control by the Public Works Director or designee.
22. Before the City accepts parkways from Developer, the landscaping thereon must complete a plant establishment period of 90 days or such other time as specified in this permit.

FIRE DEPARTMENT STANDARD CONDITIONS

23. Developer shall construct all vehicle access driveways on the project property to be at least 25 feet wide. Developer shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Developer shall mark all designated fire lanes in accordance with the California Vehicle Code.
24. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Los Angeles County Fire Department and in compliance with the City Code.
25. Before the City issues building permits, Developer shall obtain the Los Angeles County Fire Department approval of a plan to ensure fire equipment access and the availability of water for fire combat operations to all areas of the project property. The Los Angeles County Fire Department shall determine whether or not the plan provides adequate fire protection.
26. At Developer's expense, Developer shall obtain two certified fire flow tests for the project

property. The first test shall be completed before City approval of building plans and the second shall be completed after construction and prior to the issuance of a certificate of occupancy. The tests must be certified by a mechanical, civil, or fire protection engineer. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Los Angeles County Fire Department and the City Engineer.

27. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations.
28. The project shall meet the minimum requirements of the "Fire Protection Planning Guide" published by the Fire Department.
29. At all times during construction, Developer shall maintain all-weather surfaces that provide access for fire fighting apparatus to all parts of the project property.
30. Developer shall identify all hydrants and fire protection equipment on the project property as required by the Los Angeles County Fire Department.
31. Developer shall install security devices and measures, including walkway and vehicle control gates, entrance telephones, intercoms and similar features, subject to approval of the Los Angeles County Sheriff's Department and the Los Angeles County Fire Department.
32. Developer shall provide central station monitoring of the fire sprinkler system and all control valves.
33. The turning radius of all project property driveways and turnaround areas used for emergency access shall be a minimum of 48 feet.
34. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Los Angeles County Fire Department to ascertain the location of all connections.
35. Developer shall install in each structure in the project an alarm system with a central station monitor that will automatically notify the Fire Department in the event of a fire in the structure. The alarm system shall include a UL or State Fire Marshal approved device, which shall not exceed design specifications, that reports the location of the fire and allows the central station monitor to inform the Fire Department of the point of entry into the structure that is nearest the fire.
36. Developer shall comply with Los Angeles County Fire Department requirements regarding storage, handling and generation of hazardous materials or waste. Prior to the issuance of building permits, Developer shall contact the Los Angeles County Fire Department to ensure that such requirements are followed.
37. Developer shall install a carbon monoxide detector on each level of the residence in accordance with the manufacturer's specifications. Such detector shall be hardwired with a battery backup.

PLANNING STANDARD CONDITIONS

38. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
39. Any application for a minor modification to the project shall be accompanied by three copies of plans reflecting the requested modification, together with applicable processing fees.
40. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
41. This permit is granted subject to the City's approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community and Economic Development Director. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map.
42. Developer shall provide utility meters, mailboxes and address directories, placed in decorative cabinets and clustered for efficient access for residents and service persons. All designs must be approved by the Community and Economic Development Director, the appropriate utility service provider and the United States Postal Service, as applicable.
43. Developer shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color.
44. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public rights-of-way, to the maximum extent feasible.
45. Developer shall submit a lighting plan showing standard heights and light materials for design review and approval of the Community and Economic Development Director.
46. Developer shall provide for dust control at all times during project property preparation and construction activities.
47. Developer shall limit outdoor storage of materials to the locations shown on the project plans. Developer shall screen storage areas from adjacent properties and streets by a wall or similar screening. All fence and wall materials shall match the predominant design and materials of the main structure on the project property.

48. Developer shall provide automatic garage door openers for all garages.
49. Walls separating the patio areas of different units shall be of solid construction, such as masonry, stucco, or wood over wood.
50. Light standards illuminating interior walkways shall be no more than eight feet high. Light shall not intrude into neighboring living or patio areas. Light standards serving recreational areas held in common shall be no more than 15 feet high. Light shall be directed away from dwelling units.
51. Developer shall construct each dwelling unit with separate utility systems and meters.
52. Railings and enclosures for patios and balconies shall provide at least 50 percent enclosure for screening and privacy. Developer shall depict the railings and enclosures on the construction documents.
53. Developer shall establish a homeowner's association and the association shall be responsible for the maintenance of parking, landscape, recreation and other interior areas held in common by the association and for the enforcement of CC&R's related to property maintenance.
54. Developer shall include in all deeds for the project and in the CC&R's a prohibition against parking recreational vehicles over 20 feet long in the project.
55. Developer shall provide submit plans for the trash enclosure in conjunction with the submission of building plans.
56. Developer shall pay Quimby Fees and Parkway Tree Fees before issuance of building permits. The amount of the fee shall be determined by the Planning Division at the time of payment.
57. Developer shall pay the Development Tax of \$1,000 per residential unit prior to issuance of building permits.
58. Developer shall pay the applicable Water Facilities fee, currently one and a half (1.5) percent of the valuation of the development.

ENGINEERING CONDITIONS (CITY OF LOMITA)

59. All public improvements, including new water service lines, meters, and frontage improvements shall be constructed per the City's Standard Drawings and Standard Specifications. All new and modified utility lines shall be placed underground.
60. The developer shall submit calculations, prepared by a licensed civil engineer, determining the size of the water service laterals, water meters and backflow device. A separate fire service line shall be required.
61. The developer shall install separate water meters for each unit with the brand/type of meter subject to the Department of Public Works approval. Prior to receiving Certificate of

Occupancy, developer shall repair in accordance with the standards and specifications of the Public Works Director, any damaged concrete curbs, gutters and sidewalks parallel and adjacent to that portion of the entire perimeter of the lot which adjoins the street, at no expense to the city.

62. All water meters shall be located outside of the driveway apron. The new location shall be to the satisfaction of the City.
63. All unused approaches must be removed and replaced with sidewalk/parkway improvements to match existing and pursuant to American Disabilities Act requirements.
64. All project driveways, approaches, including alley, and adjacent sidewalk area shall be constructed to meet American Disabilities Act requirements.
65. Civil engineering plans shall be submitted for all right-of-way improvement prior to plan submission to the Building and Safety Division.
66. The developer shall obtain an encroachment permit, and place bonds as necessary from the City of Lomita for all proposed public improvements, including payment of all plan check and inspection fees.
67. Prior to issuing a grading permit or final Tract Map approval the developer shall either construct or post security for all required public improvements.
68. Should the proposed development require a Standard Urban Stormwater Mitigation Plan (SUSMP) and a Low Impact Development Plan (LID), the Applicant shall comply with the requirements and specifications as prescribed by the Los Angeles County Department of Public Works and/or the City.

PLANNING SPECIAL CONDITIONS

69. That the applicant shall install a 5-foot sidewalk and a 5-foot parkway along Oak Street. The applicant shall submit an improvement plan to be reviewed by the Community and Economic Development Director and the Public Works Director.
70. That the Community and Economic Development Director may approve minor changes to the final approved plans. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that city code requirements are met.
71. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
72. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
73. That the applicant shall provide adequate lighting in common areas, including guest parking areas, to the satisfaction of the Community and Economic Development Director.

74. All decks shall be equipped with a gas connection, water spigot, and an electrical outlet. Unit 6 & Unit 7's patio areas shall be equipped with a gas connection, water spigot, and an electrical outlet. All other patios shall be equipped with a water spigot.
75. Developer shall provide decorative masonry walls on the property lines shared with 261st Street.
76. Should a transformer be necessary, its location is subject to the approval of the Community and Economic Development Director.
77. The Developer shall comply with the attached specific conditions of approval (Attachment A), Quantum Quality Consulting and the County of Los Angeles Fire Department.

ENGINEERING SPECIAL CONDITIONS (CITY OF LOMITA)

78. Before plans are submit to Building and Safety for plan check, the existing sidewalk, which has been damaged by 26016 Oak's tree roots shall be repaired to the satisfaction of the Public Works Director.
79. Retain 50 year rain fall on site from hardscape or roof areas as required by LID requirements for new developments per LA Co Standards.
80. Underground all overhead utility service lines entering the property.
81. Construct new 6" sewer lateral with wye connection to the city sewer main.
82. Water demand calculation by a mechanical engineer is required.
83. Water layout and requirements for service line requirements must be approved by the Public Works Director.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of May 2021 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

Steven Cammarata, Chair

ATTEST: _____
Greg Kapovich
Community and Economic Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 78233 MAP DATE: April 26, 2018(City Transmittal)
ADDRESS: 26016 Oak Street Planner: Laura MacMorran
City: Lomita
Reviewed by: Juan Padilla for Nancy Rodeheffer FPEA II

Report Date: January 8, 2021

THE FIRE DEPARTMENT RECOMMENDS THAT THIS PROJECT BE APPROVED AT THIS TIME AND TO PROCEED WITH THE PUBLIC HEARING PROCESS.

The required fire flow for public fire hydrants at this location is 1,500 GPM at 20 psi for a duration of 2 hours, over and above the maximum daily domestic demand.

Final Map Requirements:

1. Submit the Final Map to the County of Los Angeles Fire Department Fire Prevention Land Development Unit for review and approval prior to recordation. Submit the Final Map at the following link, <https://epicla.lacounty.gov/SelfService/#/home>.
2. Private driveways shall be indicated on the Final Map as "Private Driveway and Firelane" with the widths clearly depicted and shall be maintained in accordance with the Fire Code.
3. Provide a reciprocal Access Easement Agreement for shared Fire Department access to the private drive prior to clearance of the Final Map for recordation.

ACCESS REQUIREMENTS: (standing requirements that stay with the project)

1. Every building constructed shall be accessible to Fire Department apparatus by way of access roadways, with an all-weather surface of not less than the prescribed width. The roadway shall be extended to within 150 feet of all portions of the exterior walls when measured by an unobstructed route around the exterior of the building.
2. Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. 2017 County of Los Angeles Fire Code Section 503 Section 503.1.1.



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Report Date: January 8, 2021

3. All on-site Fire Department vehicular access roads shall be labeled as "Private Driveway and Fire Lane" on the site plan/exhibit, tentative map and Final Map along with the widths clearly depicted on the plan. Labeling is necessary to assure the access availability for Fire Department use. The designation allows for appropriate signage prohibiting parking.
4. Fire Department vehicular access roads must be installed and maintained in a serviceable manner prior to and during the time of construction. Fire Code 501.4.
5. All fire lanes shall be clear of all encroachments, and shall be maintained in accordance with the Title 32, County of Los Angeles Fire Code.
6. The Fire Apparatus Access Roads and designated fire lanes shall be measured from flow line to flow line.
7. Maintain a minimum unobstructed fire lane width of 26 feet, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance "clear to the sky". Fire Department vehicular access to within 150 feet of all portions of the exterior walls of the first story of the building, as measured by an approved route around the exterior of the building. Fire Code 503.1.1 and 503.2.2. Cross hatch the Fire Department vehicular access on the site plan and clearly depict the required width.
8. Fire Apparatus Access Roads shall be designed and maintained to support the imposed load of fire apparatus weighing 37 ½ tons and shall be surfaced so as to provide all-weather driving capabilities. Fire apparatus access roads having a grade of 10 percent or greater shall have a paved or concrete surface. Fire Code 503.2.3
9. Provide approved signs or other approved notices or markings that include the words "NO PARKING - FIRE LANE". Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for fire apparatus access roads, to clearly indicate the entrance to such road, or prohibit the obstruction thereof and at intervals, as required by the Fire Inspector. Fire Code 503.3



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PROJECT: TR 78233 MAP DATE: April 26, 2018(City Transmittal)
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Reviewed by: Juan Padilla for Nancy Rodeheffer FPEA II

Report Date: January 8, 2021

10. A minimum 5 foot wide approved firefighter access walkway leading from the fire department access road to all required openings in the building's exterior walls shall be provided for firefighting and rescue purposes. Fire Code 504.1
11. Fire Apparatus Access Roads shall not be obstructed in any manner, including the parking of vehicles, or the use of traffic calming devices, including but not limited to, speed bumps or speed humps. The minimum widths and clearances established in Section 503.2.1 shall be maintained at all times. Fire Code 503.4

WATER SYSTEMS REQUIREMENTS:

1. For all occupancies other than one and two -family dwellings, and Group R-3 buildings, including commercial, industrial, multi-family dwellings, private schools, and institutions, fire hydrant spacing shall be 300 feet ((91.44m). No portion of lot frontage shall be more than 200 feet (60.96m) from, via vehicular access, a public hydrant. No portion of a building shall be more than 400 feet (121.92m) from, via vehicular access, a properly spaced public hydrant.
2. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal, and shall be installed in accordance with the County of Los Angeles Fire Code.
3. All required public fire hydrants shall be installed, tested and accepted prior to beginning construction. Fire Code 501.4
4. An approved automatic fire sprinkler system is required for the proposed buildings within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.



February 22, 2021

Subject: TENTATIVE TRACT MAP NO. 78233
26016 Oak Ave. PROPOSED DEVELOPMENT
ENGINEERING REVIEW COMMENTS

Laura MacMorran
Assistant Planner
City of Lomita
24300 Narbonne Ave
Lomita, CA 90717

Dear Ms. MacMorran,

Quantum Consulting (QC) has completed the engineering review of the subject documents and therefore recommends that TTM No. 78233 be approved subject to the following conditions:

**VESTING TENTATIVE PARCEL MAP NO. 78233
RECOMMENDED COMMENTS AND CONDITIONS**

Engineering Subdivision Comments

This Vesting Tentative Parcel Map No. 78233 includes the following engineering review comments:

We have reviewed and approved the water and sewer studies for TTM No. 78233 on March 11, 2020

When provided, we will review the following:

1. Subdivision
2. Road
5. Grading
6. Storm drain and hydrology

7. Geotechnical

The following comments are NOT provided as part of the review of this TTM 78233 and are required of the applicant to secure approvals/comments:

- City of Lomita Planning
- L.A. County Fire Department
- L.A. County Department of Parks and Recreation
- L.A. County Department of Public Health

The subdivision shall conform to the design standards and policies of the City of Lomita, in particular, but not limited to the following items:

COMMENTS & CONDITIONS

The subdivision shall conform to the design standards and policies of the City of Lomita, in particular, but not limited to the following items:

1. Subdivision

a) Applicant shall pay all development impact fees.

b) Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the city.

c) Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.

d) Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, subordination must be executed by the easement holder prior to the filing of the final map.

e) The owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the City Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.

- f) All utility extensions within the site shall be placed underground.
- g) All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the City for approval.
- h) Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the City determined the application to be complete all to the satisfaction of Public Works.
- i) Prior to expiration of the tentative map, a final parcel map must be processed through the Planning Division prior to being filed with the Registrar-Recorder/County Clerk's Office.
- k) A final subdivision guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office. A preliminary title report was not provided with this submittal.
- l) Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 (Minor Land Divisions) or \$5,000 (Major Land Divisions) with the City to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract and Parcel Maps, Vesting Tentative Tract and Parcel Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (California Fish and Wildlife, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract/parcel map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.

2. Road

- a) Construct new driveways to meet current Americans with Disabilities Act (ADA) to the satisfaction of the City of Lomita.

b) Close any unused driveways with standard curb, gutter and sidewalk along the property frontage on streets within this subdivision to the satisfaction of City of Lomita.

c) Repair any damaged improvements during construction to the satisfaction of the City of Lomita.

3. Sewer

a) The subdivider shall serve each proposed unit with a separate lateral.

4. Water

a) The subdivider shall serve each proposed unit with a separate service and meter.

REQUIREMENTS PRIOR TO GRADING PLAN APPROVAL:

5. Grading (If grading plan is required)

a) Provide the following:

1). Benchmark information on grading plan/exhibit map.

2). The drainage shall conform to latest Standard Urban Stormwater Mitigation Plan (SUSMP)/Low Impact Development (LID) plan by the City unless modification or waiver is approved by the City in accordance with the Code.

3). Grading plans shall conform to the California Building Code and all other relevant laws, rules, and regulations governing grading in the City of Lomita.

4). Provide rough and precise grading combination plan for the entire site and submit for review and approval.

5). Where grading involves import or export, the project applicant shall obtain approval for the import/export location from the City.

6). If import/export involves the movement of more than 100 cubic yards of material using city streets, review and approval of a haul route by the City is required.

7). Grading plan shall provide for protection of downstream properties from damages caused by alteration of the drainage patterns.

8). It shall be the sole responsibility of the project applicant to obtain any and all proposed required easements and/or permissions necessary to perform the grading.

9). Phase 1 Environmental Site Assessment for review by the City.

10). Permits and/or letters of non-jurisdiction from all State and Federal Agencies, as applicable. These agencies may include, but may not be limited to the State of California Regional Water Quality Control Board, State of California Department of Fish and Game, State of California Department of Conservation, Division of Oil, Gas, and Geothermal Resources (DOGGR), and the Army Corps of Engineers.

REQUIREMENTS PRIOR TO FINAL MAP RECORDATION:

a) Submit a grading plan for approval. The grading plan must show and call out the following items, including but not limited to: construction of all drainage devices and details, paved driveways, elevation and drainage of all pads, SUSMP and LID devices (if applicable), and any required landscaping and irrigation not within a common area or maintenance easement. Acknowledgement and/or approval from all easement holders may be required.

b) A maintenance agreement or CC&Rs may be required for all privately maintained drainage devices, slopes, and other facilities.

6. Storm Drain and Hydrology

a) Applicant shall provide a copy of the drainage concept or hydrology study prior to issuance of building permit or grading plan approval.

7. Geotechnical

a) A preliminary geotechnical/soils investigation report shall be provided on this project.

If you should have any questions or comments regarding the engineering review of the subject document, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Frank Bigdeli". The signature is stylized and written in a cursive-like font.

Frank Bigdeli, P.E.
Civil Engineer

DRAFT
LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING ZONE VARIANCE NO. 245 TO PERMIT A 7'10" DISTANCE BETWEEN UNIT 1 AND UNIT 2 WHERE 10 FEET IS REQUIRED AT 26016 OAK STREET IN IN THE RVD-2500 (RESIDENTIAL VARIABLE DENSITY) ZONE. FILED BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278 (DEVELOPER)

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The Planning Commission of the City of Lomita has considered an application for a variance to permit a 7'10' separation between Unit 1 & Unit 2 instead of the Code required 10 feet at 26016 Oak Street in the RVD-2500 (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 ("Developer")
- B. A variance from Section 11-1.30.14(B)(1)'s 10-foot minimum distance between buildings is subject to review and approval by the Planning Commission Pursuant to Section 11-1.70.10 (Zone Variance).
- C. On May 10, 2021, the Planning Commission held a duly noticed public hearing and accepted public testimony.
- A. Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.
- D.

Section 2. Pursuant to Section 11-1.70.10 (Zone Variance), after reviewing the proposed development, it is determined that the proposed project is consistent with the following required findings:

1. *There are exceptional or extraordinary circumstances or conditions applicable to the property involved, including size, shape, topography, location, or surroundings, which do not generally apply to the surrounding properties in the same zone; and which deny the owner privileges enjoyed by other property owners in the vicinity and within the same zoning district;*

This property is subject to extraordinary circumstances and conditions that do not generally apply to the surrounding properties in the same zone. The property has a unique five-sided shape but is still generally the shape of a pentagon. It has greater frontage than it does depth, and it is more than two and a half times the depth at the lot's southerly portion than at the northerly portion. This irregular shape stems from how the land was subdivided before the City's incorporation, which includes the curved shape of Oak Street and 261st Street's curved street designs. It is common that other properties in the RVD-2500 can create dwelling units of similar or greater bed/bath combinations and sizes without having to contort the development's design.

2. *Because of the circumstances or conditions, the variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties similarly situated but which is denied to the property in question;*

Because of the aforementioned land development history, and irregular lot and street designs, the Code's universal standards afford other properties in the RVD-2500 Zone an efficient use of their lot's area; however, those universal standards unintentionally create further restrictions on this atypical property's development.

3. *The granting of the variance will not be materially detrimental to the public welfare or injurious to the adjacent property; and*

Granting this variance has no foreseeable way to be material detrimental to public welfare or injurious to the adjacent property owner as it is limited to the space between two buildings on the subject property. Nor would it be materially detrimental to the future owners of Unit 1 and Unit 2. The distance between the buildings is greater than 10 feet for the vast length of both buildings. At the farthest point, the buildings are 21'8" apart and then taper to 7'10". The layout of each building has stairwells along these outside walls, so there's no foreseeable noise impacts or types of disruptive activity.

4. *The granting of the variance is consistent with the General Plan.*

The General Plan's Housing Element (2013) encourages a diversity of housing types, sizes, locations, and costs in accordance with the City's land use policies. Granting the variance is consistent as it removes a specific hardship to creating typical multifamily housing townhomes.

Section 3. Based on the above findings, the Planning Commission of the City of Lomita hereby approves Zone Variance No. 245 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated April 19, 2021 (“the plans”) on file with the Planning Division and the project shall conform to the Plans. The Community and Economic Development Director may approve minor changes to the approved Modified Plans. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that city code requirements are met. Modifications exceeding a 10% deviation shall be referred back to the Planning Commission. A minor modification may be granted for minimal changes of structures or of the design, materials or colors of structures or masonry walls.
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Applicant has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community and Economic Development Director allows the Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
6. Developer agrees, as a condition of adoption of this resolution, at Developer’s own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Developer’s commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
7. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
8. Any covenants, conditions, and restrictions (CC&R’s) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&R’s and the City Code or this permit, the City Code or this permit shall prevail. .
9. If Applicant, Owner, or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.
10. Prior to issuance of Certificate of Compliance, Applicant and Owner shall sign a letter agreeing to the conditions of approval within this resolution.

11. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute or ordinance is violated, the permit may be revoked, suspended or modified by the Planning Commission or the City Council at any time, after a noticed hearing in accordance with the Lomita Zoning Ordinance.
12. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
13. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.

PLANNING STANDARD CONDITIONS

14. Before the City issues building permits, Applicant and Owner shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
15. This permit is granted subject to the City's approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community and Economic Development Director. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map.
16. That final inspection shall not be granted until all conditions of approval have been met and verified by staff.

PLANNING SPECIAL CONDITIONS

17. This approval is to permit a 7'10" distance between Unit 1 and Unit 2 where a minimum of 10 feet is required.
18. Any conditions of approval subject to SPR No. 1211, HVP No. 105, and VTTM No. 78233 shall be required as conditions of this approval.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of May, 2021 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

RECUSE: Commissioners:

Steven Cammarata, Chair

ATTEST: _____
Greg Kapovich
Community and Economic Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

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DRAFT
LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING HEIGHT VARIATION PERMIT NO. 105 TO PERMIT NINE TOWNHOMES WITH A MAXIMUM HEIGHT OF 25 FEET, 2 INCHES FOR THE PROPERTY LOCATED AT 26016 OAK STREET IN THE RVD-2500 (RESIDENTIAL VARIABLE DENSITY) ZONE. FILED BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278 (DEVELOPER)

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals.

- A. The Planning Commission of the City of Lomita has considered a Height Variation Permit to permit nine townhomes with a maximum height of 25 feet, 2 inches for the property located at 26016 Oak Street within the RVD-2500 (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (“Developer”)
- B. Pursuant to Section 11-1.30.02 (Development Standards) and 11-1.70.11 (Height Variation Permit) of the Lomita Municipal Code (Code), residential lots south of Pacific Coast Highway shall obtain a Height Variation Permit for new structures or additions over sixteen feet in height measured from the natural grade.
- C. Pursuant to Lomita Municipal Code Section 11-1.70.11, the City notified all owners of property within a 300-foot radius of the boundary of the subject property in which more than 5% responded in opposition, thereby elevating review of the proposed height to the Planning Commission.
- D. On May 10th, 2021 the Planning Commission held a duly noticed public hearing and accepted and considered all of the public testimony on the application.
- E. In accordance with Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.

Section 2. Findings.

Pursuant to Section 11-1.70.11, “Height Variation Permit” of the Lomita Municipal Code, the Planning Commission finds, after due study and deliberation, that the following circumstances exist:

1. *An existing significant view will not be obstructed by the proposed construction; or*

Staff has visited the subject property and neighborhood several times. Within 300-feet of the subject property, the area possesses a very minor change in grade. Written objections (Attachment 13) primarily pertained to a host of issues other than view, such as parking, sunlight, loss of trees, and dust, which are concerns, but not qualifying reasons to deny the proposed 25'2" height. This area has a relatively flat topography, and staff did not observe any significant views as defined in the Code that would be impacted. Furthermore, the proposed height of 25'2" is below the maximum height requirement of 27 feet applicable to all other areas of the City with an RVD-2500 zoning designation.

2. *The proposed construction is designed to be the least intrusive on the existing view of neighboring property owners or occupants.*

Though the proposed development's design is requesting setback modifications, those modified distances do not have any impact on any of the surrounding properties' views. As a result of the absence of views as defined by the Code, the construction cannot possibly be considered intrusive.

Section 3. Based on the above findings, the Planning Commission of the City of Lomita hereby approves Height Variation Permit No. 105 subject to compliance with all applicable laws and ordinances of the City as well as the addition of the following conditions:

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated April 19, 2021 ("Attachment 11") on file with the Planning Division and the project shall conform to Exhibit A. The Community and Economic Development Director may approve minor changes associated with the architecture, site design and buildings to the approved Modified Plans. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that Lomita Municipal Code requirements are met. Modifications exceeding a 10% deviation shall be referred back to the Planning Commission. A minor modification may be granted for minimal changes of structures or of the design, materials or colors of structures or masonry walls.
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend, and hold harmless the City and its agents, officers, and employees from and

against any claim, action, or proceeding to attack, review, set aside, void, or annul the approval of the resolution or any condition attached thereto or any proceedings, acts, or determinations taken, done, or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.

7. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
8. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
9. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic, or otherwise potentially hazardous to human health to be handled, stored, or used on the project property, except as provided in a permit issued by the Los Angeles County Fire Department.
10. If Developer, owner, or tenant fails to comply with any of the conditions of this permit, the Developer, owner, or tenant shall be subject to a civil fine pursuant to the City Code.
11. Prior to the issuance of building permits, Developer shall correct all violations of the City Code existing on the project property.
12. Prior to the issuance of building permits, Developer shall sign an affidavit agreeing to the conditions of approval within this resolution.

PLANNING STANDARD CONDITIONS

13. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
14. The Developer shall install a solid waste and recyclable material storage area as required by Los Angeles Department of Building and Safety.
15. Any application for a minor modification to the project shall be accompanied by three copies of the plans reflecting the requested modification, together with applicable processing fees.
16. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
17. This permit is granted subject to the City's approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community and Economic Development Director. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map.
18. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public rights-of-way, to the maximum extent feasible.
19. Developer shall provide for dust control at all times during project property preparation and construction activities.

- 20. Developer shall not store construction materials or vehicles outdoor on the project property.
- 21. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute, or ordinance is violated, the permit may be revoked, suspended, or modified by the Planning Commission or the City Council at any time, after a noticed hearing in accordance with the Lomita Zoning Ordinance.
- 22. The Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer
- 23. The final inspection shall not be granted until all conditions of approval have been met and verified by staff.
- 24. In the event of a disagreement in the interpretation or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
- 25. It is hereby declared to be the intent of the Planning Commission that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
- 26. Any conditions of approval for SPR No. 1211 shall become conditions of this approval.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10^h day of May 2021 by the following vote:

AYES:	Commissioners:
NOES:	Commissioners:
ABSENT:	Commissioners:

Steven Cammarata, Chair

ATTEST:

Greg Kapovich
Community and Economic Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council. Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

RESOLUTION NO. PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL OF VESTING TENTATIVE TRACT MAP NO. 78233 FOR THE SUBDIVISION OF PROPERTY TO PERMIT THE CONSTRUCTION OF NINE NEW RESIDENTIAL UNITS FOR THE PROPERTY LOCATED AT 26016 OAK STREET. FILE BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The City of Lomita has received an application requesting Planning Commission approval of a Site Plan, Zone Variance and Height Variation and a recommendation of approval to the City Council of a Vesting Tentative Tract Map for the subdivision of property to permit the construction of nine new residential units for the property located at 26016 Oak Street in the RVD-2500 (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (Developer), in accordance with Articles 3 and 8, Chapter 2 of Title XI of the Lomita Municipal Code
- B. On May 10, 2021, the Planning Commission held a duly noticed public hearing and accepted testimony for and against the proposed project.
- C. The Planning Commission approved on May 10, 2021, Site Plan No. 1209, Zone Variance No. 245 and Height Variation Permit No. 105 which approved a nine-unit townhouse development at the subject site subject to approval by the City Council of a tentative map and final map and recordation of the final map.
- D. The subject site is zoned RVD-2500 (Residential Variable Density) and designated Medium Density Residential by the City's General Plan.
- E. The subject property is a flat 24,459-square-foot parcel. The parcel is an irregular pentagon shape and possesses street frontage on three sides. After its five-foot right-of-way dedication, the net lot area is reduced to 23,418 square feet. Along Oak Street, the street frontage is approximate 210 feet, and there are two driveway aprons. 261st Street, which borders the property on the north and east, is a private road, and there are not any existing (or proposed) points of access.
- F. Tentative Tract Map No 78233 has been reviewed on behalf of the City by Quantum Quality Consulting, which determined that the proposed Tentative Map meets the requirements of the City's Municipal Code and the State Subdivision Map Act, and recommended conditions for the final map approval which have been attached to this Resolution.
- G. The Los Angeles County Fire Department has reviewed the proposed project and concludes that adequate water supply exists to meet current and anticipated fire suppression needs.

- H. Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.
- I. The Planning Commission finds that the applicant agrees with the necessity of, and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

Section 2. Pursuant to California Government Code Section 66410 *et seq.* (Subdivision Map Act), Section 11-2.116 of the Lomita Municipal Code, and the City's General Plan, based on the entire record before the Planning Commission and all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

1. *The proposed subdivision is designed, to the extent feasible, to provide for passive or natural heating or cooling opportunities.* (See Gov. Code Section 66473.1.)

The design of the subdivision balances hardscaped and landscaped surfaces. Landscaped areas fill spaces not necessary for circulation and will provide shade for paved surfaces. A parkway will be created from the five-foot right-of-way dedication and street trees will be planted every 50 linear feet. The design of the westerly-facing units includes covered porches and deck spaces which shield several doors and windows from direct sunlight.

2. *The proposed subdivision and the provisions for its design and improvement are consistent with the general plan for the City of Lomita ("General Plan"),* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site has a General Plan Land Use Designation of Medium Density Residential and the proposed condominium project is compatible with the surrounding uses which consist of single family dwellings, multi-family dwellings and a mobile home park. The site is physically suitable for the density of development. The site has a density of 16.47 dwelling units per acre and accommodates a maximum of 9 units which is both consistent with the density range established by the Medium Density Residential Land Use designation of the \ General Plan and

the density development standard of one unit for every 2,500 square feet of lot area, as outlined by the RVD-2500 zoning district.

3. *The Subject Site is physically suitable for the type and density of development proposed in the Tentative Tract. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The project site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed use and development of a 9-unit condominium development. The proposed development will have adequate street access for pedestrians and vehicles, and also adequate capacity for parking and traffic. The parcel is an irregular pentagon shape and possesses street frontage on three sides. The development will have pedestrian and vehicular accessibility via one entry point located on Oak Street. The internal driveway will provide full access to the development. The proposed development requires two parking spaces within an enclosed garage for each unit and one guest parking space for each unit without direct street frontage. The proposed development provides a total of 18 enclosed parking spaces within garages and two guest parking spaces. The project design meets the required parking standards and promotes safe and convenient pedestrian and vehicular circulation. A condition of approval has been included for a five-foot dedication for a sidewalk and parkway to be established.

4. *The subdivision design and improvements proposed in the Tentative Tract Map are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The subject property is a flat 23,418-square-foot parcel developed with one single-family home and one garage, which were built in the 1930s. The vegetation on the site includes introduced shrubs and trees. There are several mature trees that provide significant canopy coverage. None of the existing urban introduced landscaping is a candidate for sensitive or special status species. The project would not significantly impact wildlife or wildlife habitat. A condition of approval has been included to require the removal of existing trees outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

5. *The subdivision design and type of improvements proposed in the Tentative Map are not likely to cause serious public health problems because all development and public improvements will be performed per the requirements of all applicable standards and codes, including the zoning and building codes. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The site is physically suitable for the type of development. The project meets all the required development standards as shown in the approved plans associated with Site Plan No. 1209, Zone Variance No. 245 and Height Variation Permit No. 105.

6. *The subdivision design and type of improvements proposed in the Tentative Map will not conflict with easements acquired by the public at large for access through or use of the Subject Site. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or

easements within the tract map. The existing rights-of-way remain intact and there is no foreseeable interference.

7. *The discharge of waste into an existing sewer system from development proposed in the Tentative Map will not cause a violation of existing requirements prescribed by the local water quality control board. (See Gov. Code Section 66474.6.)*

The design of the subdivision will discharge waste into an existing community sewer system and will not result in violation of existing requirements prescribed by Los Angeles Regional Water Quality Control Board per Division 7 of the Water Code.

8. *The subdivision and improvements proposed in the Vesting Tentative Parcel Map help the City of Lomita meet its regional housing needs. (See Gov. Code Section 66412.3.)*

The Housing Element noted that more than 32% of households in 2013 were overpaying for their housing. Multi-family townhome developments are typically a more affordable option to purchase/rent and maintain than single-family homes.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lomita hereby recommends City Council approval of Vesting Tentative Tract Map No. 78233 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. The Vesting of the Tentative Tract Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. Pursuant to Lomita Municipal Code sections 11-2.357 and 11-2.251, this Vesting Tentative Tract Map dated January 8, 2021 shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
1. Any covenants, conditions, and restrictions (CC&R's) applicable to the project property shall be consistent with the terms of this Tentative Tract Map and the City Code. If there is a conflict between the CC&R's and the City Code or this permit, the City Code or this permit shall prevail.
2. Developer shall establish a homeowner's association and the association shall be responsible for the maintenance of the private driveway, landscaping and any other interior areas held in common by the association and for the enforcement of CC&R's related to property maintenance.
3. Developer shall include in all deeds for the project and in the CC&R's a prohibition against parking recreational vehicles.
4. This subdivision shall comply with Title 11 of the Lomita Municipal Code (Vesting Tentative Map) as determined by the City Engineer.

5. The final map shall not be recorded until there has been compliance with all conditions of approval.
6. The developer shall install house addresses and mail boxes in accordance with Post Office policy. The actual addresses will be assigned by Los Angeles County staff prior.
7. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend, and hold harmless the City and its agents, officers, and employees from and against any claim, action, or proceeding to attack, review, set aside, void, or annul the approval of the resolution or any condition attached thereto or any proceedings, acts, or determinations taken, done, or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
8. The Developer shall comply with the attached conditions of approval (Attachment A) developed by City of Lomita Public Works Department, Quantum Quality Consulting and the County of Los Angeles Fire Department.
9. This condominium project shall comply with the conditions of approval for Site Plan Review No. 1209.
10. Removal of existing trees shall be performed outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of May, 2021 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

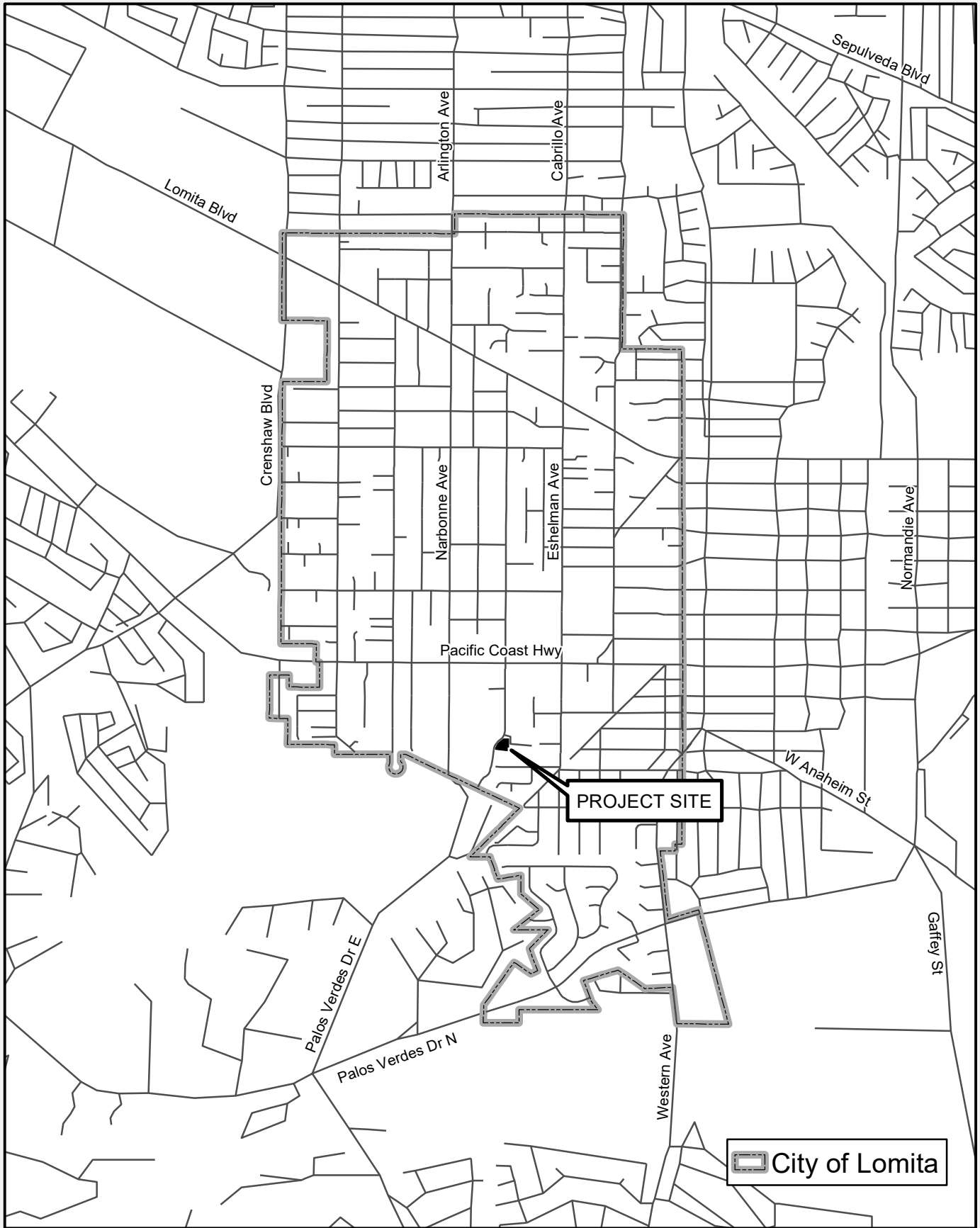
ABSENT: Commissioners:

ABSTAIN: Commissioners

Steven Cammarata, Chairperson

ATTEST: _____
Greg Kapovich
Director of Community and Economic Development

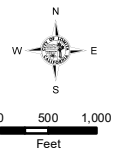
Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

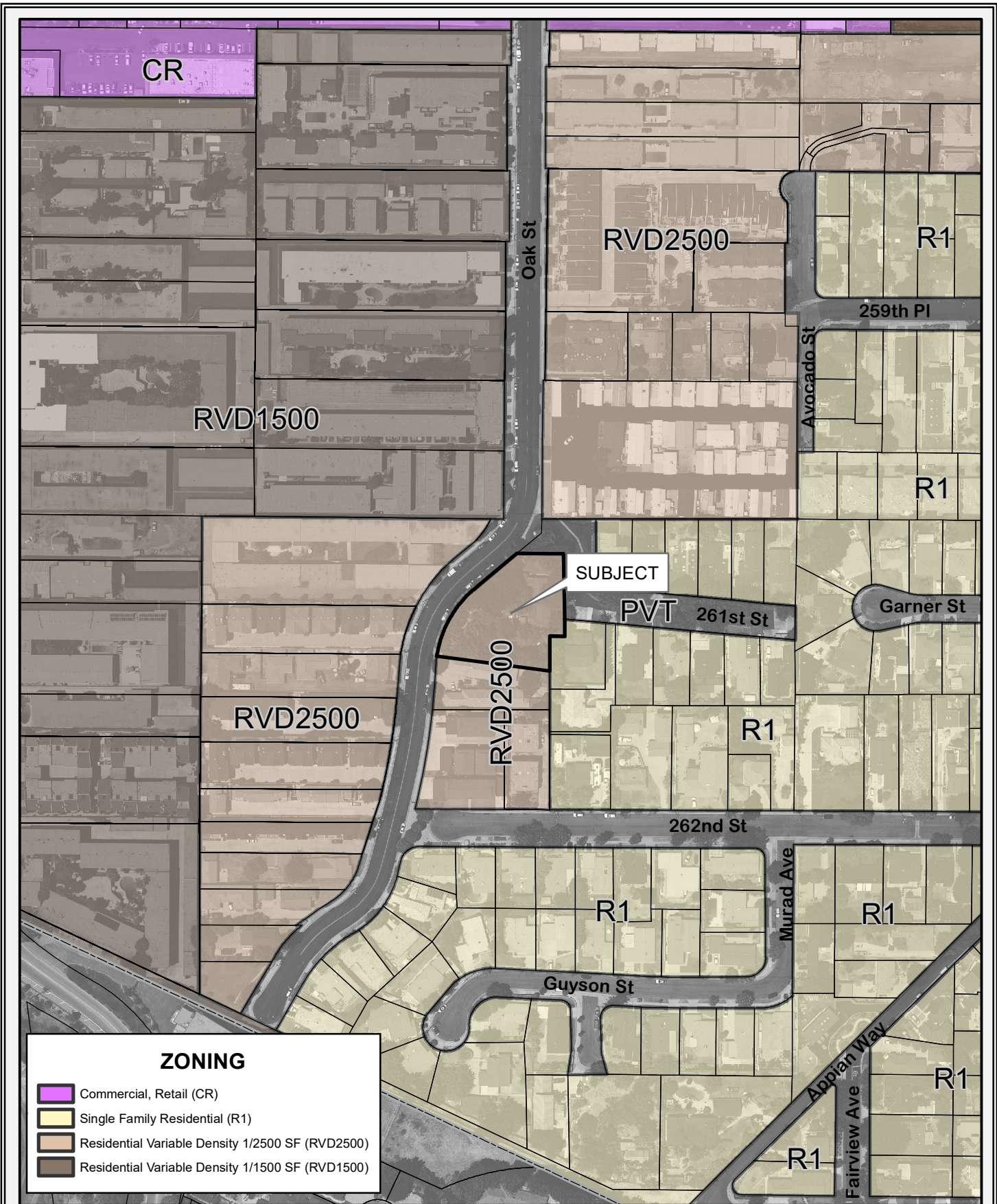


**Site Plan No. 1209, Zone Variance No. 245,
Height Variation Permit No. 105,
Vesting Tentative Tract Map No. 78233
26016 Oak Street
Attachment 5**

Community Development
April 2021

Source: Lomita GIS Data Layers, TIGER Files
GIS/Apps/26016Oak_3vty.mxd





ZONING

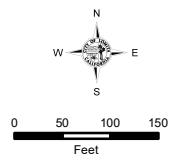
- Commercial, Retail (CR)
- Single Family Residential (R1)
- Residential Variable Density 1/2500 SF (RVD2500)
- Residential Variable Density 1/1500 SF (RVD1500)

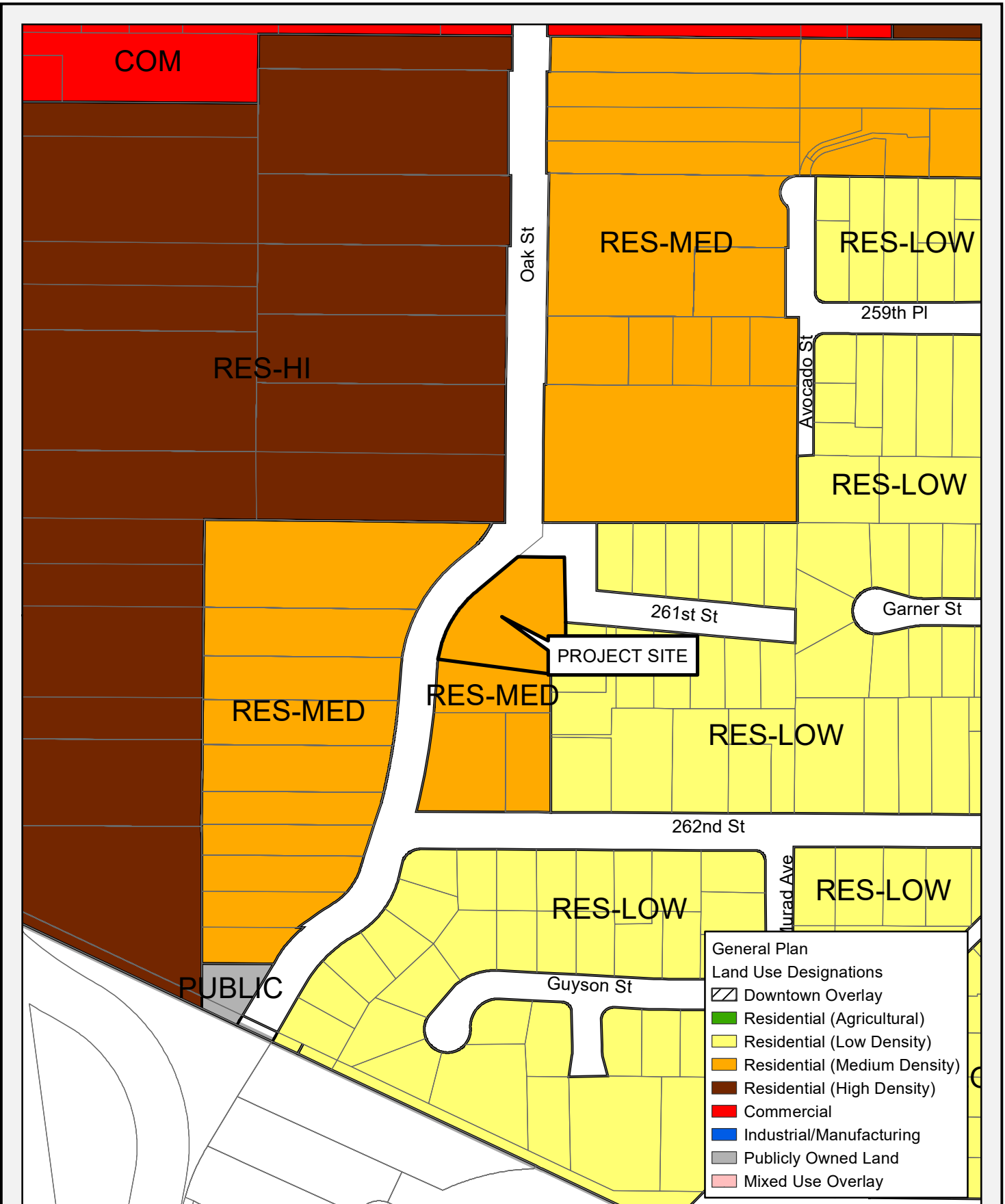


**Site Plan No. 1209, Zone Variance No. 245,
 Height Variation Permit No. 105,
 Vesting Tentative Tract Map No. 78233
 26016 Oak Street
 Attachment 6**










Community Development
 April 2021

Source: Lomita GIS Data Layers
 GIS/Apps/26016Oak_3zon.mxd





General Plan
Land Use Designations

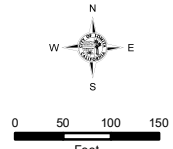
-  Downtown Overlay
-  Residential (Agricultural)
-  Residential (Low Density)
-  Residential (Medium Density)
-  Residential (High Density)
-  Commercial
-  Industrial/Manufacturing
-  Publicly Owned Land
-  Mixed Use Overlay



**Site Plan No. 1209, Zone Variance No. 245,
 Height Variation Permit No. 105,
 Vesting Tentative Tract Map No. 78233
 26016 Oak Street
 Attachment 7**

Community Development
 April 2021

Source: Lomita GIS Data Layers
 GIS/Apps/26016Oak_3gp.mxd





PROJECT SITE

Oak St

261st St

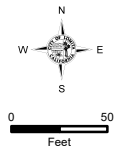
262nd St



**Site Plan No. 1209, Zone Variance No. 245,
 Height Variation Permit No. 105,
 Vesting Tentative Tract Map No. 78233
 26016 Oak Street
 Attachment 8**

Community Development
 April 2021

Source: Lomita GIS Data Layers
 /Apps/26016_3aer.mxd





Community Development Department
 Planning Division
 24300 Narbonne Avenue
 Lomita, CA 90717
 310/325-7110
 FAX 310/325-4024

NOTICE OF EXEMPTION

Project Description:

Site Plan Review No. 1209/Height Variation Permit No.105/ Zone Variance No. 245 /Vesting Tentative Tract Map No. 78233– A request for a Site Plan Review to permit the construction of nine, two-story, residential dwelling units with a maximum height of 25’2” on a of 23,418 square-foot lot and a Vesting Tentative Tract Map to create nine condominium units on one shared lot located at 26016 Oak Street. The project is in the RVD-2500, (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (Developer)

Finding:

The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, Section 15332 (In-Fill Development))
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

Supporting Reasons:

Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project

that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. Therefore, the Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment and has attached the Notice of Exemption as Attachment 9 to this staff report.

(Date)

Greg Kapovich
Community and Economic Development
Director

SCALE: 1" = 20'

VESTING TENTATIVE TRACT MAP NO. 78233

IN THE CITY OF LOMITA, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

SHEET 1 OF 1 SHEET

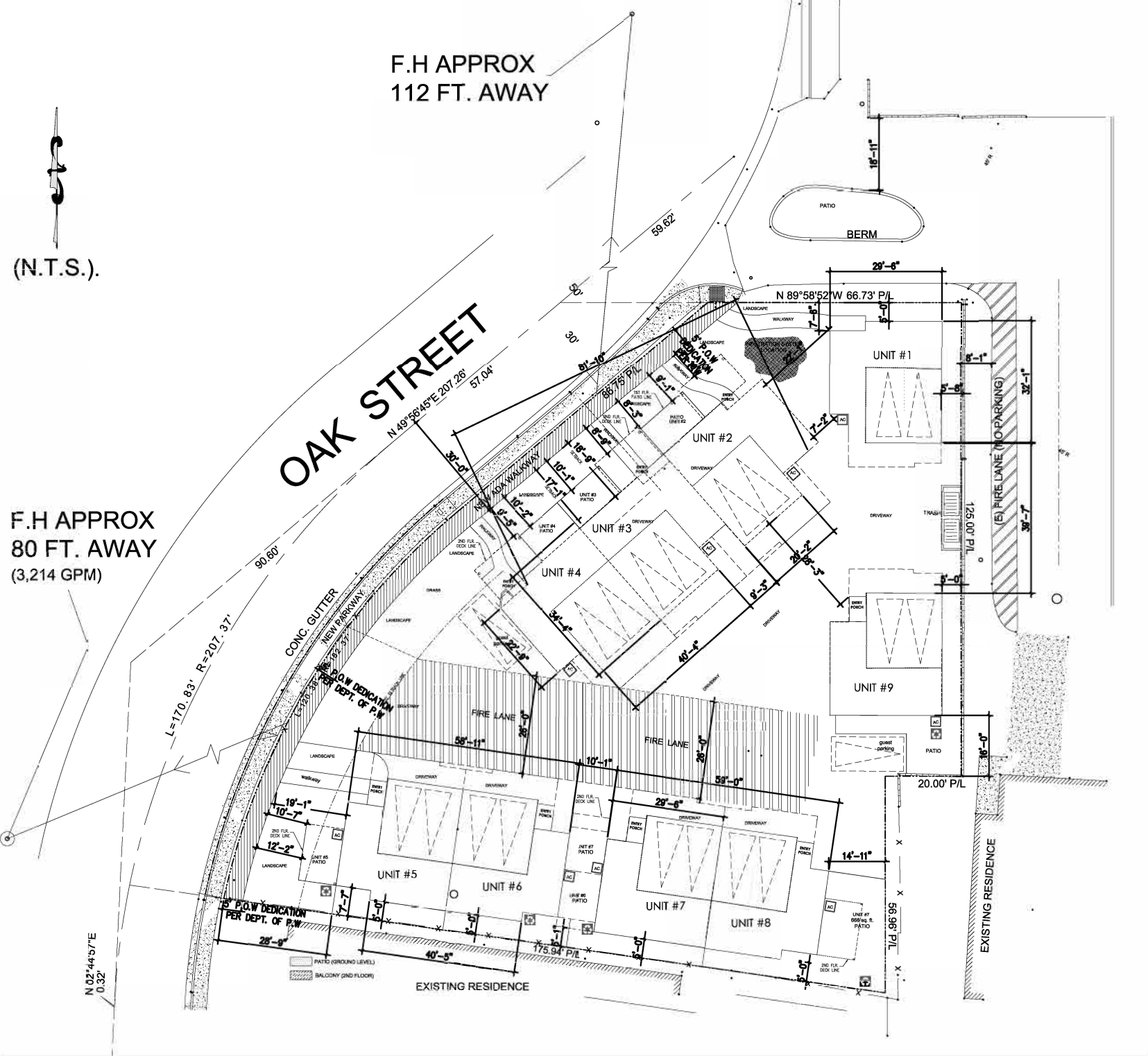
ENGINEER
DENN ENGINEERS
3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433



REV 1-8-21
DATE 10/2/2017

GARY J. ROEHL R.C.E. 30826

PROPOSED SITE PLAN



SUBDIVIDER
EBRAHIM SOLTANI
E&S PRIME BUILDERS, INC.
1981 ARTESIA BOULEVARD, SUITE B
REDONDO BEACH, CA 90278
PHONE 310-466-5811

LEGAL DESCRIPTION
PORTIONS OF LOTS 4 & 5,
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

JOB ADDRESS
26016 OAK STREET
LOMITA, CA 90717

- NOTES**
1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
 2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
 3. THIS IS A 9 UNIT CONDOMINIUM PROJECT.

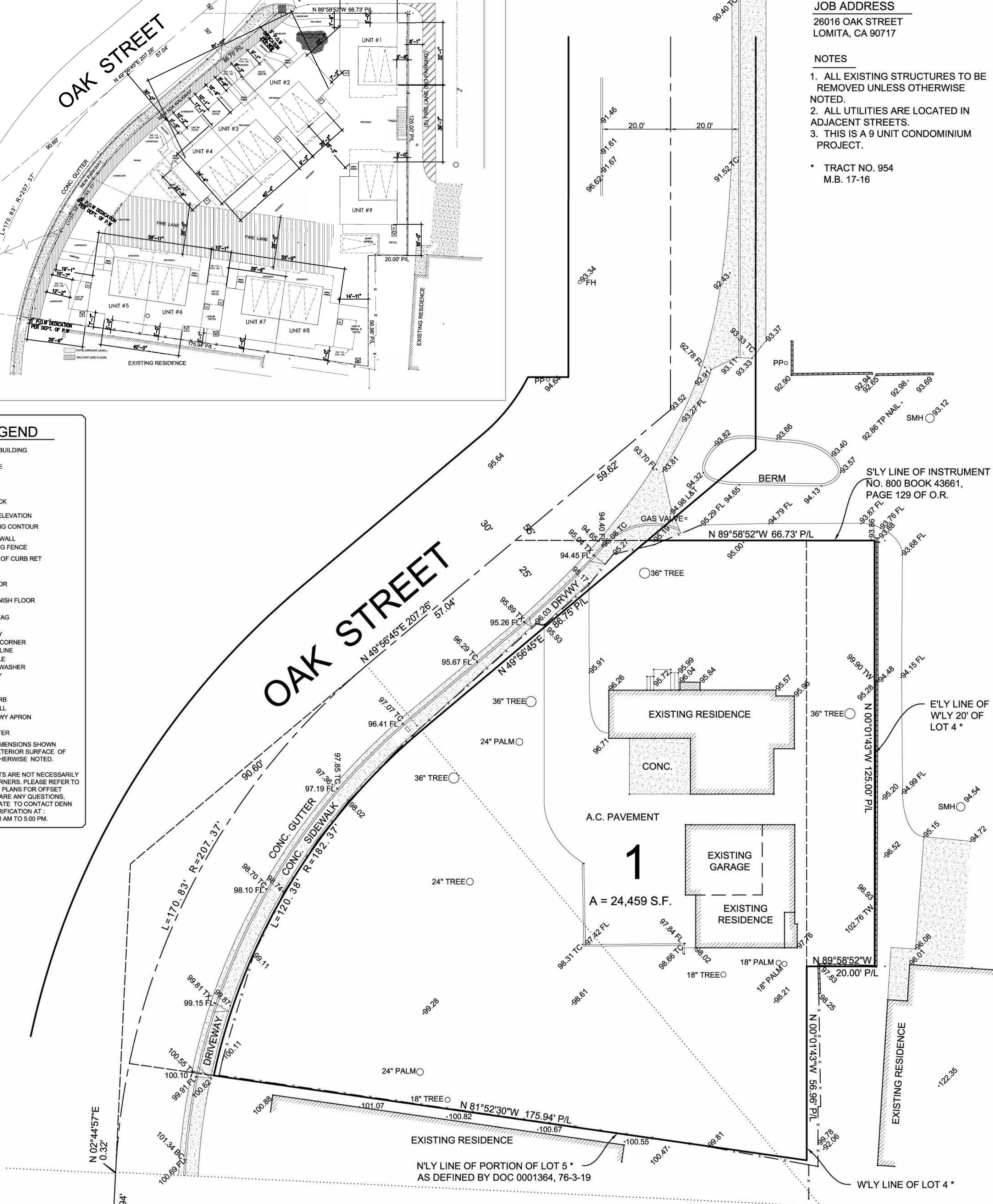
* TRACT NO. 954
M.B. 17-16

LEGEND

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- +106.76 EXISTING ELEVATION
- 100 EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BCR BEGINNING OF CURB RET
- ELY EASTERLY
- FD FOUND
- FF FINISH FLOOR
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- NLY NORTHERLY
- PC PROPERTY CORNER
- PL, PL PROPERTY LINE
- PP POWER POLE
- S&W SPIKE AND WASHER
- SLY SOUTHERLY
- SPK SPIKE
- STK STAKE
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DRIVEWAY APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.



S'LY LINE OF INSTRUMENT NO. 800 BOOK 43661, PAGE 129 OF O.R.

E'LY LINE OF W'LY 20' OF LOT 4 *

W'LY LINE OF LOT 4 *

17-443 ATTACHMENT 10

17-443

COLOR ELEVATIONS UNIT 2-4

CLIENT NAME:

E&S PRIME
BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

CGA

Christian Golfin+Associates



WEST - UNIT 2

WEST - UNIT 3

WEST - UNIT 4

SCALE: N.T.S

F. AREA CALCULATIONS UNIT #1-6

UNIT	OCCUPIED AREA:		LIVABLE	GARAGE
	FIRST FLOOR	SECOND FLOOR		
UNIT 1	FIRST FLOOR	476 SF	420 SF	
	SECOND FLOOR	1,107 SF		
LIVING AREA TOTAL		1,583 SF		
UNIT FOOTPRINT TOTAL		896 SF		
UNIT 2	FIRST FLOOR	468 SF	420 SF	
	SECOND FLOOR	1,102 SF		
LIVING AREA TOTAL		1,570 SF		
UNIT FOOTPRINT TOTAL		888 SF		
UNIT 3	FIRST FLOOR	438 SF	420 SF	
	SECOND FLOOR	1,060 SF		
LIVING AREA TOTAL		1,498 SF		
UNIT FOOTPRINT TOTAL		858 SF		
UNIT 4	FIRST FLOOR	438 SF	420 SF	
	SECOND FLOOR	1,057 SF		
LIVING AREA TOTAL		1,495 SF		
UNIT FOOTPRINT TOTAL		858 SF		
UNIT 5,6&8	FIRST FLOOR	438 SF	419 SF	
	SECOND FLOOR	1,062 SF		
LIVING AREA TOTAL		1,500 SF		
UNIT FOOTPRINT TOTAL		857 SF		
UNIT 7	FIRST FLOOR	462 SF	419 SF	
	SECOND FLOOR	1,062 SF		
LIVING AREA TOTAL		1,524 SF		
UNIT FOOTPRINT TOTAL		881 SF		
UNIT 9	FIRST FLOOR	438 SF	420 SF	
	SECOND FLOOR	1,069 SF		
LIVING AREA TOTAL		1,507 SF		
UNIT FOOTPRINT TOTAL		858 SF		
TOTAL FOOTPRINT (ALL UNITS)		7,810 SF		
LOT AREA = 24,458		7,810 SF	32% LOT COVERAGE	
7,810/24,458 = LOT COVERAGE				

D. PROJECT DESCRIPTION

- NEW RENOVATION ADDITION
- EXISTING LOT/ BUILDING USE: RESIDENTIAL USE
- PROPOSED USE: ATTACHED/ DETACHED 9-UNIT CONDOMINIUM W/ ATTACHED GARAGES R-301.1
- OCCUPANCY GROUP: V-N
- CONSTRUCTION TYPE: V-N
- AUTO FIRE EXT. SYSTEM: SPRINKLERS - YES
- BUILDING HEIGHT: 25'-2"
- MAXIMUM BUILDING HEIGHT: 27'



OAK STREET
 N 49°56'45"E 207.26'
 57.04'

L=170.83', R=207.37'

CONC. GUTTER
 NEW PARKWAY: L=120.38', R=182.37'

— PATIO (GROUND LEVEL)
 — BALCONY (2ND FLOOR)

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 Redondo Beach, CA, 90260
 Ph: (310)406-6587
 CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:

 Civil Engineers Structural Design

CLIENT NAME:
E&S PRIME BUILDERS

SITE ADDRESS:
 26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION
 LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:
SITE PLAN

DATE: 3-28-21 SHEET NO.
 BY: C.GOLFIN
 PROJ. #:
 SCALE: 1" = 15'

A02

8.56. 070 Water Conservation Requirements.

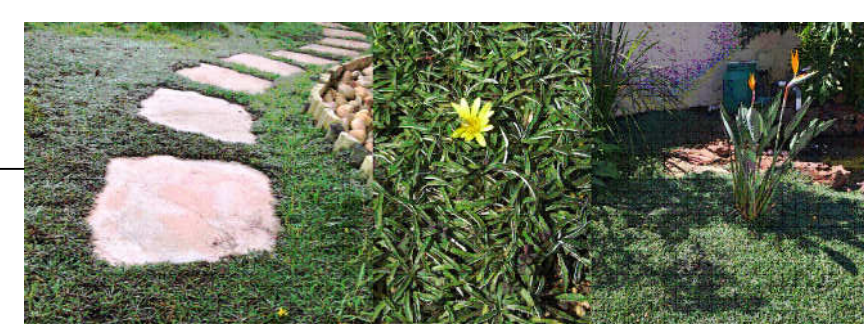
- The following water conservation requirements shall apply to all persons:
- Landscaping.**
 - Watering hours and duration. No lawn or landscaped area shall be irrigated or watered by any means between the hours of 9:00 a.m. and 6:00 p.m. on any day. Above-ground spray irrigation or watering shall not exceed fifteen (15) minutes per irrigation station or area. This provision shall not apply to drip irrigation systems, use of a hand-held bucket or similar container, use of a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, irrigation necessary to establish newly planted low water usage plants, or water expended for limited periods of time necessary for irrigation system maintenance or leak repair.
 - Over-watering. No lawn or landscaped area shall be irrigated or watered to the point where excess water ponds, sprays or runs off the lawn or landscaped area onto any walkways, sidewalks, driveways, streets, alleys or storm drains.
 - Irrigation during rainfall. No lawn or landscaped area shall be irrigated or watered during rainfall or within 24 hours after measurable rainfall.
 - Landscape maintenance. All lawns and landscaping shall be regularly maintained to reduce water use by such methods as coring, thatching and mulching.
 - Landscape irrigation system maintenance. Landscape irrigation systems shall be regularly inspected, maintained and repaired to eliminate leaks, remove obstructions to water emission devices and eliminate over-spraying.
 - Pools and spas. New pools and spas shall be equipped with a cover. Not later than July 1, 2012, all existing pools and spas shall be constructed, installed or equipped with a cover. Pools and spas shall be covered overnight and daily when use is concluded.
 - Water fountains and decorative water features. No person shall operate a fountain or other decorative water feature that does not recycle or re-circulate the water utilized by the device.
 - Cleaning. No person shall use water to wash or clean any sidewalks, walkways, patios, driveways, alley parking or similar areas, whether paved or unpaved; however, use of water brooms or pressure washers or similar low flow technology, or water recycling systems to clean these surfaces, is permitted. In no case shall such water run off the property or drain onto any walkways, sidewalks, streets, alleys or storm drains.
 - Car washing. No person shall use water to wash or clean any motorized or un-motorized vehicle, including, but not limited to, an automobile, truck, boat, van, bus, motorcycle, trailer or similar vehicle, except by use of a bucket or similar container or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle. This subsection shall not apply to any commercial car washing facility that uses a water recycling system to capture or reuse water.
 - Waste and leaks.** No person shall:
 - Cause, permit or allow water to leak from any exterior or interior pipe, hose or plumbing fixture.
 - Cause, permit or allow water to flow from any source on private or public property onto walkways, sidewalks, streets, alleys or storm drains, except as a result of rainfall or pumping excessive groundwater infiltration, such as by means of a sump pump.
 - The use of water for cleaning, washing and other uses shall be performed in an efficient manner to reduce waste and total water use.



PLANT/ SURFACE LEGEND								
SYMBOL	COMMON NAME (SCIENTIFIC NAME)	WATER USE	SIZE	HEIGHT	DIAMETER	TYPE	QUANTITY	COMMENTS
1	NEW ZEALAND FALX (PHORMIUM DAZZLER)	MEDIUM	5 GAL.	2-3 FT.	2-3 FT.	PLANT	7	
2	MEXICAN FEATHER GRASS (NASSELLA TENUISSIMA)	LOW	1 GAL.	1-2 FT.	1-2 FT.	GRASS	32	
3	ALOE VERA (ALOE BARBADENSIS)	LOW	1 GAL.	1-2 FT.	1-2 FT.	PLANT	3	
4	AMERICAN SWEETGUM TREE (LIQUIDAMBAR STYRACIFLUA)	MEDIUM	24 BOX.	20-40 FT.	6" FT.	TREE	10	
5	TOP SOIL W/ WOOD CHIPS OVER 2" ORGANIC MULCH	N/A	N/A	N/A	N/A	BASE		PERMEABLE SURFACE
6	CALIFORNIA SAGE BUSH (ARTERMISIA CALIFORNICA)	LOW	1 GAL.	2-4 FT.	N/A	BUSH	10	PERMEABLE SURFACE
7	BUFFALO GRASS (Bouteloua dactyloides)	N/A	N/A	N/A	N/A	BASE		PERMEABLE SURFACE
8	BLUE FESCUE (FESTUCA GLAUCA)	LOW	1 GAL.	1 FT.	1 FT.	PLANT	12	PERMEABLE SURFACE
9	PIGYM DATE PALM (PHOENIX ROEBELENI)	LOW	15 GAL.	3-5 FT.	6 FT.	PLANT	8	PERMEABLE SURFACE
10	LOW WATER GROUND COVER (DYMONDIA MARARETAE)	LOW	N/A	N/A	N/A	COVER	169 SQ.FT. (PARKWAY)	PERMEABLE SURFACE

8.60. 060 Standards for New Landscape.

- New landscape as defined in Section 8.60.040 shall be designed and managed to use the minimum amount of water required to maintain plant health. New landscape shall comply with all of the requirements in Sections 8.60.040 through 8.60.050 of the Model Efficient Ordinance and the following, whichever is more restrictive, unless an exception is granted pursuant to Section 8.60.050(D).
- Plant material.**
 - Plant species and landscape design shall be adapted to the climate, soils, topographical conditions, and shall be able to withstand exposure to localized urban conditions such as pavement heat radiation, vehicle emissions and dust, and urban runoff. Water conserving plant and turf species shall be used.
 - Plant species or specifications shall comply with any official list of species, guidelines or regulations adopted by the City to the extent that such lists, guidelines or regulations do not conflict with this Chapter.
 - Plants listed in the current Invasive Plant Inventory for the southwest region by the California Invasive Plant Council or similar source acceptable to the Community Development Director are prohibited, except for known non-fruitlet, non-invasive, sterile varieties or cultivars. Plants known to be susceptible to disease or pests in this Climate Zone six (6) shall not be used.
 - The landscape area of project proposing exclusively commercial or industrial uses shall be designed using exclusively water conserving plants. Single family residential, multi-family residential, mixed use and institutional uses projects shall be designed with not more than twenty (20) percent of the total landscaped area in turf or high water use plants in the Water Use Classification for Landscape Species (WUCOLS). Turf may be used for athletic or recreational purposes or for functional purposes on athletic or recreational areas as determined by the Community Development Director. Public agencies shall be exempt from this requirement.
 - Turf shall not be allowed on slopes greater than twenty (20) percent. Where the toe of the slope is adjacent to an impermeable surface, alternatives to turf should be considered on slopes exceeding twenty (20) percent, meaning one (1) foot of vertical elevation change for every five (5) feet of horizontal length. Approved turf areas may be watered at 1.0 of the reference evapotranspiration (E_t).
 - Planting areas shall be covered with a minimum of two (2) inches of organic mulch, except in areas covered by groundcovers or within twenty-four (24) inches of the base of a tree, or where a reduced application is indicated. Mulch material shall be added from time to time as necessary to maintain the required depth of mulch.
 - Species and landscape design shall complement and to the extent feasible in compliance with this Chapter be proportional to the surroundings and streetscape and incorporate deciduous trees to shade west and south exposures. Landscaping shall not interfere with safe sight distances for vehicular traffic, the vision clearance in Section 17.46.060, height restrictions for hedges in 17.46.030, pedestrian or bicycle ways, or overhead utility lines or lighting.
 - Water features, pools and spas.**
 - Recirculating water systems shall be used for water features. Where available, recycled water shall be used as a source for decorative water features.
 - Pools and spas shall be equipped with a cover and covered overnight and daily when use is concluded.
 - Grading and runoff.** Landscape design shall minimize soil erosion and runoff.
 - Grading plans shall avoid disruption of natural drainage patterns to the extent feasible.
 - Grading plans shall demonstrate that normal rainfall and irrigation will remain within the property lines and not drain on impermeable surfaces, walkways, sidewalks, streets, alleys, gutters, or storm drains.
 - Plans and construction shall protect against soil compaction within landscape areas.
 - Stormwater best management practices to minimize runoff, to increase on-site retention and infiltration and control pollutants shall be incorporated into project plans. Rain gardens, swales, structural soil, permeable pavement, connected landscape, and other landscape features and practices that increase onsite water capture, storage and infiltration, emphasizing natural approaches over technology-based approaches that require ongoing maintenance, shall be considered. Plans and practices shall comply with Chapter 8.44.
 - Irrigation systems.**
 - An automatic irrigation system using either evapotranspiration or soil moisture sensor data, with a non shut-off sensor, shall be installed. Drip irrigation emitters shall emit no more than two (2) gallons per hour.
 - An average landscape irrigation efficiency of 0.71 shall be used for the purpose of determining Maximum Applied Water Allowance. Irrigation systems shall be designed, maintained, and managed to meet or exceed this efficiency. Landscapes using recycled water are considered Special Landscape Areas, where the ET Adjustment Factor shall not exceed 1.0.
 - The irrigation system shall be designed to prevent water waste resulting in runoff, overspray, or similar conditions where irrigation water ponds or flows onto non-irrigated areas, walkways, sidewalks, streets, alleys, gutters, storm drains, adjacent property, or similar untargeted areas. Runoff to other permeable or impermeable surfaces shall not be allowed.
 - Narrow or irregularly shaped areas, including turf less than eight (8) feet in width in any direction, shall be irrigated with subsurface irrigation or low volume above-ground irrigation system.
 - Overhead irrigation shall not be permitted within two (2) feet of any impermeable surface. Drip, drip line, or other low flow non-spray technology shall be used.
 - All sprinklers shall have matched precipitation rates within each valve and circuit. All irrigation systems shall be designed to include optimum distribution uniformity, head to head spacing, and setbacks from sidewalks, pavement and impermeable surfaces.
 - All irrigation systems shall provide backflow prevention devices in accordance with the current edition of the California Building/Plumbing Code and check valves at the low end of irrigation lines to prevent unwanted draining of irrigation lines. Pressure regulators may be required if the pressure at the sprinkler head exceeds the manufacturer's recommended operating pressure.
 - Recycled water and grower irrigation systems shall be used when reasonably feasible and shall conform to the current edition of the California Building/Plumbing Code, and all other applicable local, state and federal laws.
 - Irrigation system hydrozones.**
 - The irrigation system shall conform to the hydrozones of the landscape design plan.
 - Each hydrozone shall have plant materials with similar water use, with the exception of hydrozones with plants of mixed water use where the plant factor of the higher water using plant is used for calculations. No hydrozone shall mix high and low water use plants.
 - Sprinkler heads and other emission devices shall be appropriate for the plant type within that hydrozone, where feasible, trees shall be placed on separate valves from turf, shrubs and groundcovers.
 - No landscape plan or restriction of any type, including those applicable to common interest developments such as condominiums, shall prohibit or include conditions that have the effect of prohibiting native or water conserving plants.
 - Landscape and irrigation maintenance.**
 - All landscape and related elements shall be designed and properly maintained to insure long-term health and shall maintain conformance with the requirements of this Chapter.
 - Irrigation scheduling shall be regulated by automatic irrigation controllers.
 - Watering hours and duration shall be scheduled compliant with the requirements of Chapter 8.56.
 - A regular maintenance schedule shall include, but not be limited to, routine inspection, adjustment and repair of the irrigation system, opening and debatching turf areas, replenishing mulch, fertilizing, pruning, weeding and removing any obstruction to emission devices.
 - Repair of all irrigation equipment shall be promptly undertaken, using the originally installed components or equivalent or enhanced components compatible with the irrigation system.
 - Landscape areas shall be permanently maintained and kept free of weeds, debris and litter. Plant materials shall be maintained in a healthy growing condition and diseased or dead plant materials shall be replaced. A log, pursuant to the approved plans within thirty (30) days. Alternatively, diseased or dead plant materials may be replaced with plant materials that have low water needs, as noted in the current edition of the Water Use Classification for Landscape Species.
 - The use, storage and disposal of all landscape and lawn care products shall comply with all manufacturers' specifications and applicable laws, and minimize the discharge of pollutants to the environment.
 - Notwithstanding the requirements of this Section, landscape design and maintenance shall additionally comply with the requirements of Chapters 8.44 and 8.56, Title 17 (Zoning), any other applicable provisions of this code, and the requirements of a development permit, whichever is more restrictive.



IRRIGATION LEGEND		SPECIFICATIONS	
A	RAIN BIRD EXP-SMT6 WEATHER BASED SMART CONTROLLER	Operating Range	Pressure: 8.5 to 60 psi (.58 to 4.14 bar)
B	XFS 17mm SUBSURFACE DRIPPERLINE	Flow rates: 0.6 and 0.9 gph (2.3 l/hr and 3.5 l/hr)	Temperature:
C	MANUAL SHUT OFF VALVE	Water: Up to 100°F (37.8° C)	Ambient: Up to 125°F (51.7° C)
D	RAIN BIRD MULTI OUTLET XERI-BUG	Required Filtration: 120 mesh	Specifications
E	SUBSURFACE NON CORROSIVE TUBING OR PVC	OD: 0.634"	ID: 0.536"
		Thickness: 0.049"	Available in 100' and 500' (30.5 m and 152.4 m) coils
		Coil Color: Copper	



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Ph: (310)465-6357
COBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:
AART ASSINK ASSOCIATES
Civil Engineers Structural Design

CLIENT NAME:
E&S PRIME BUILDERS

SITE ADDRESS:
26016 OAK STREET
LOMITA, CA 90717

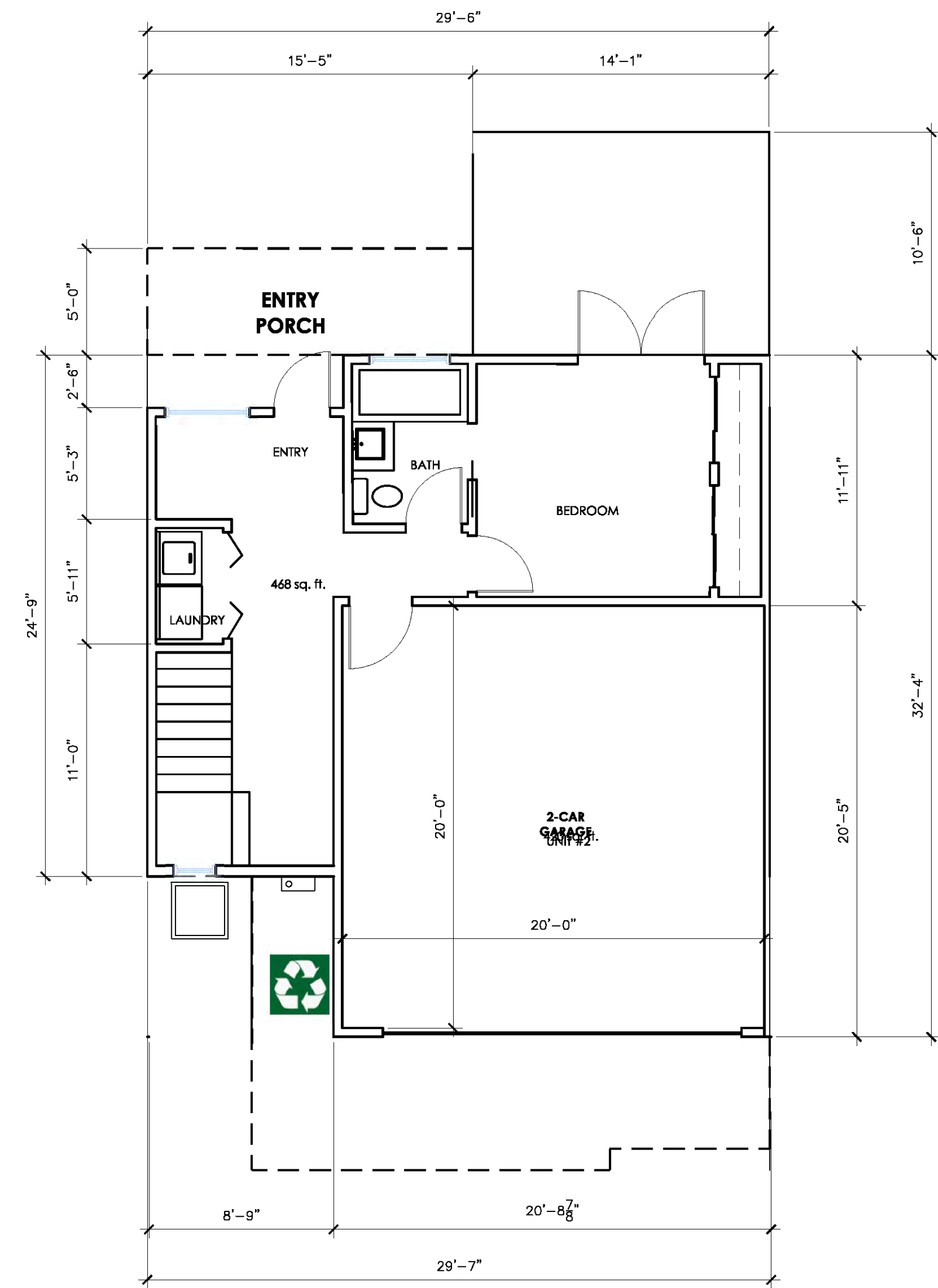
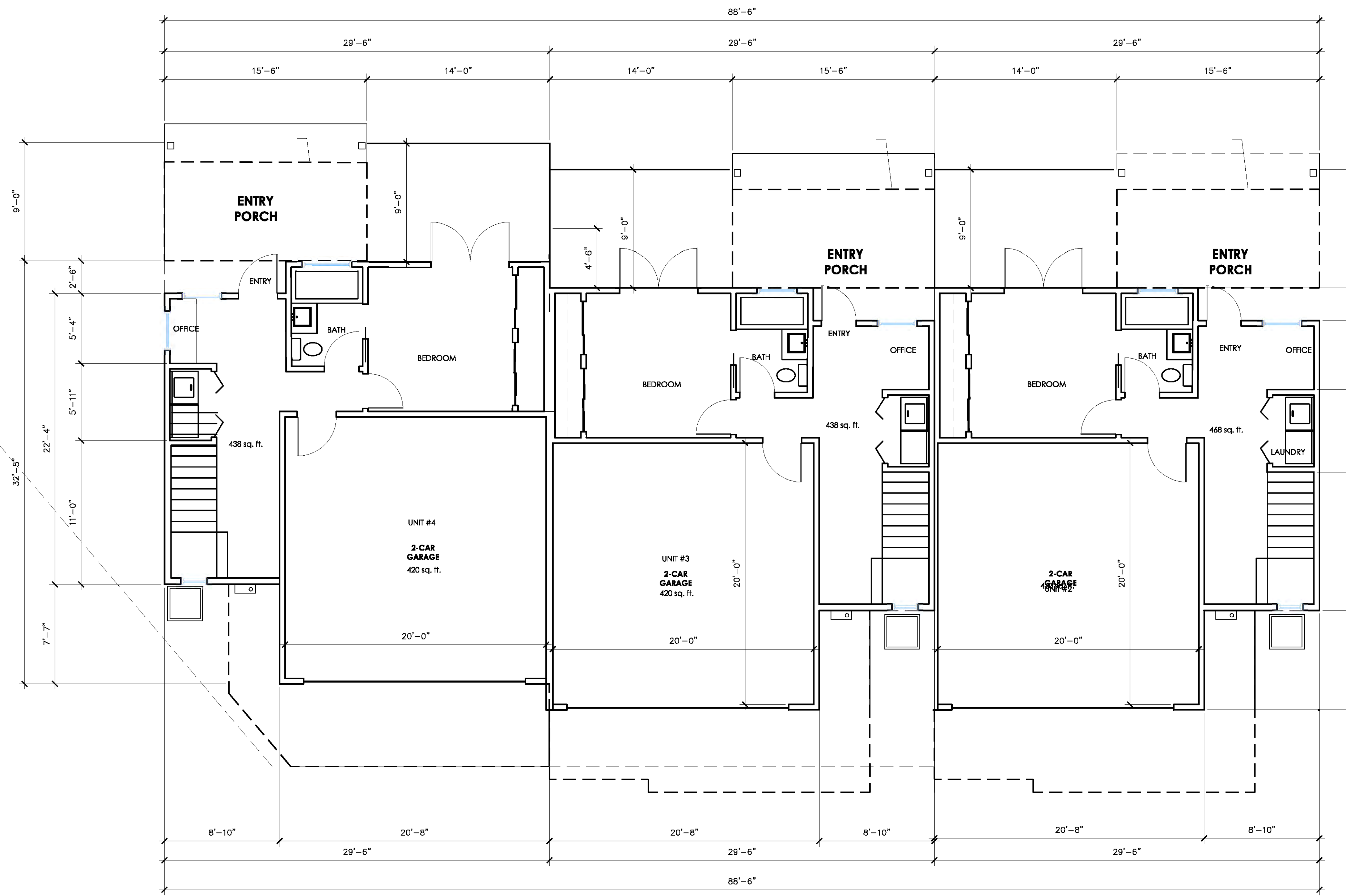
LEGAL DESCRIPTION
LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

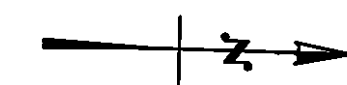
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LANDSCAPE PLAN

DATE: 3-28-21
BY: C.GOLFIN
PROJ. #:
SCALE: 1" = 15'

SHEET NO.
A03

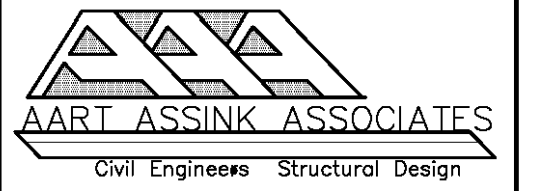


PROPOSED FIRST FLOOR PLANS



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 CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #1,2,3,4
 FLOOR PLANS

DATE: 3-28-21

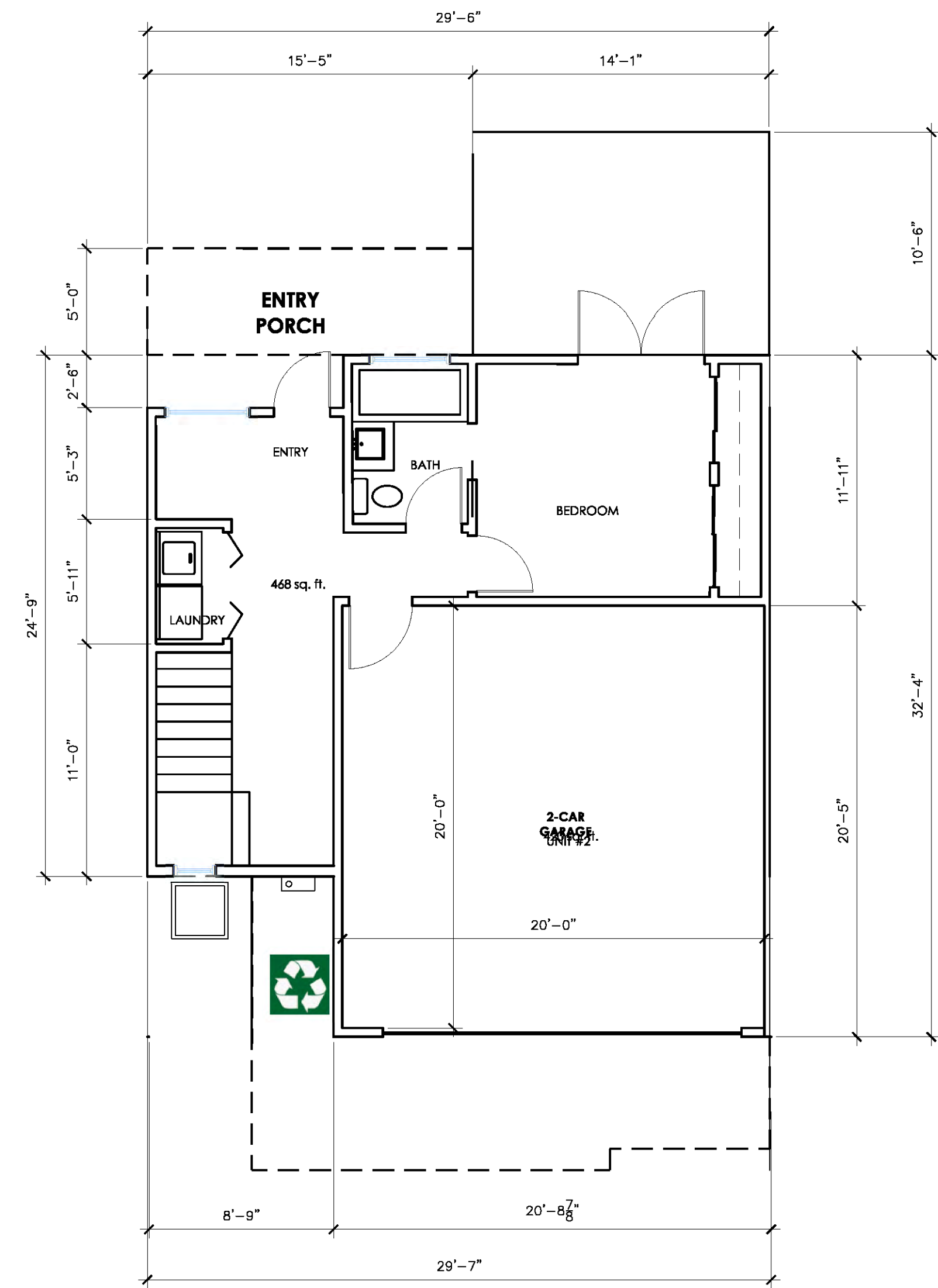
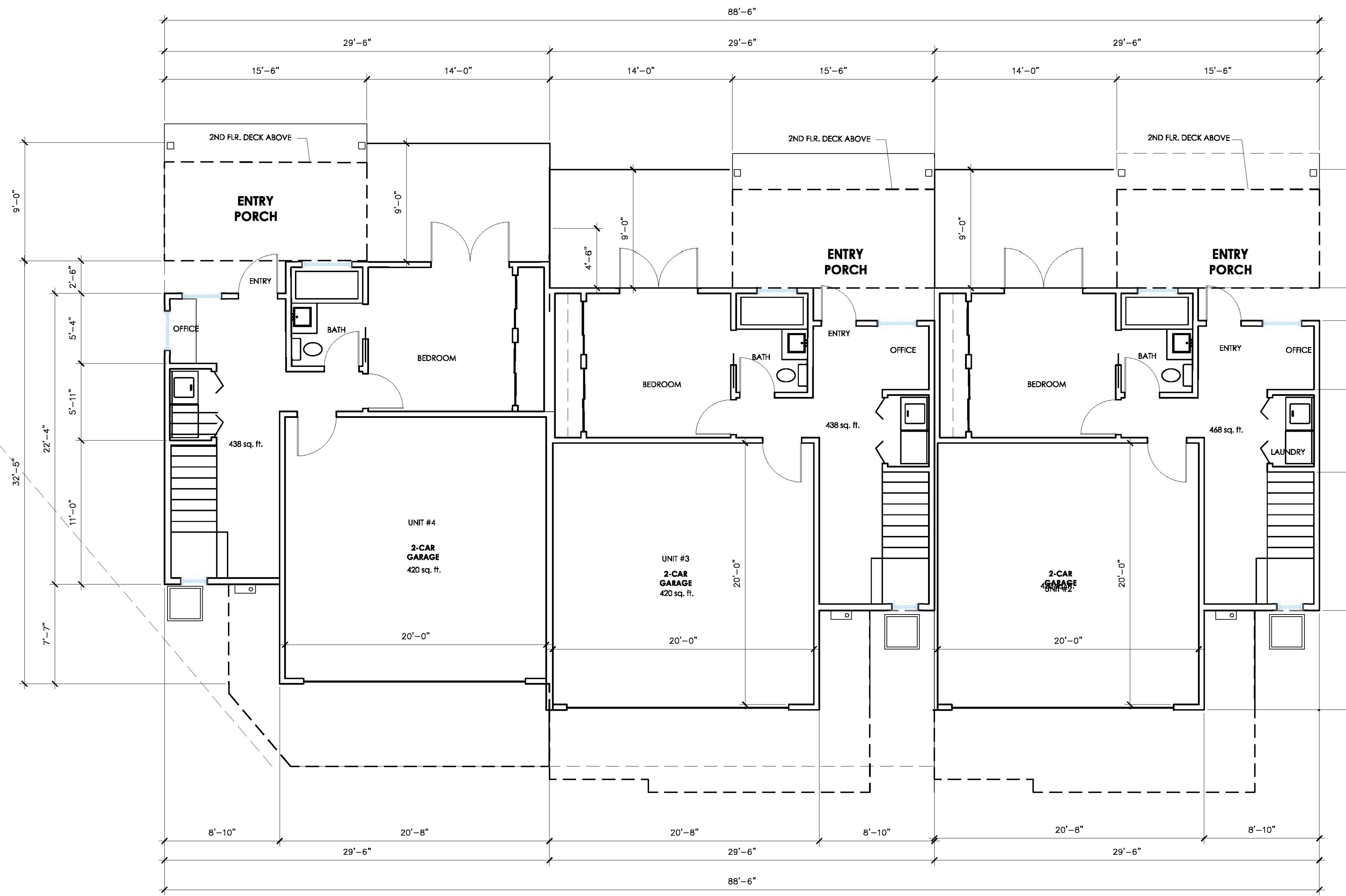
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BY: C.GOLFIN

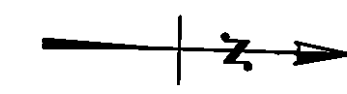
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PROJ. #

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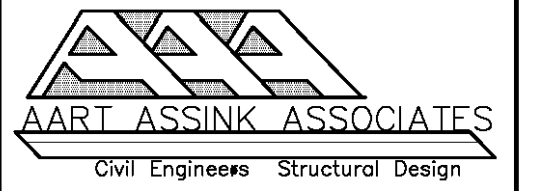


PROPOSED FIRST FLOOR PLANS



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CONSULTING ENGINEER:



CLIENT NAME:

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SITE ADDRESS:

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LOMITA, CA 90717

LEGAL DESCRIPTION
LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #1,2,3,4
FLOOR PLANS

DATE: 3-28-21

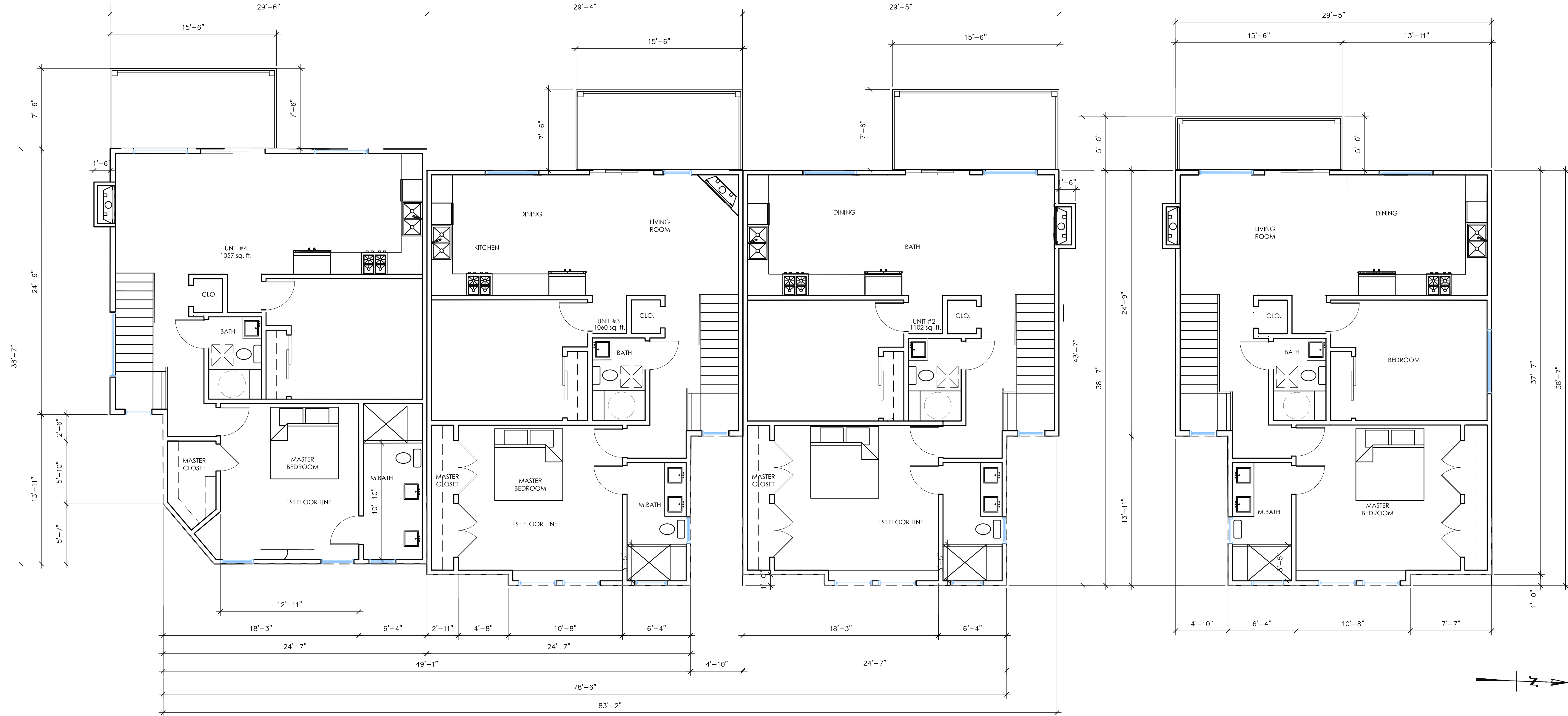
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BY: C.GOLFIN

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PROJ. #

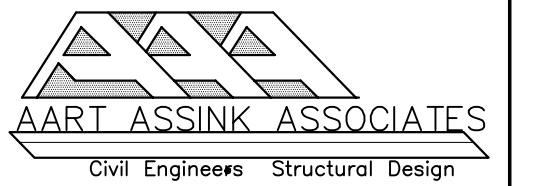
SCALE: AS NOTED



PROPOSED SECOND FLOOR PLAN

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CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

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 LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #1,2,3,4
 FLOOR PLANS

DATE: 3-28-21

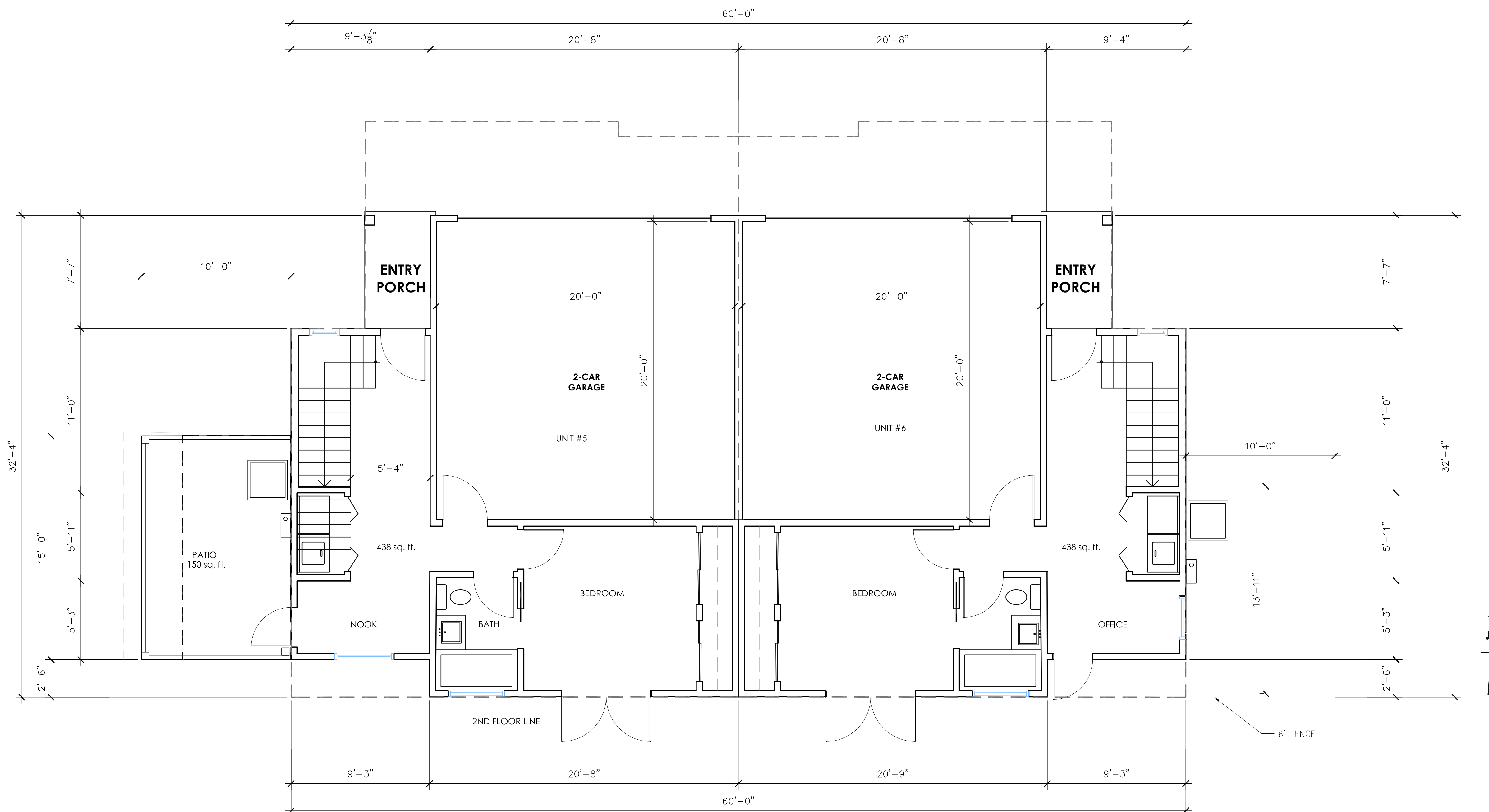
SHEET NO.

BY: C.GOLFIN

PROJ. #

SCALE: AS NOTED

A2



PROPOSED FIRST FLOOR PLAN

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CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT # 5,6
 FLOOR
 PLANS

DATE: 3-28-21

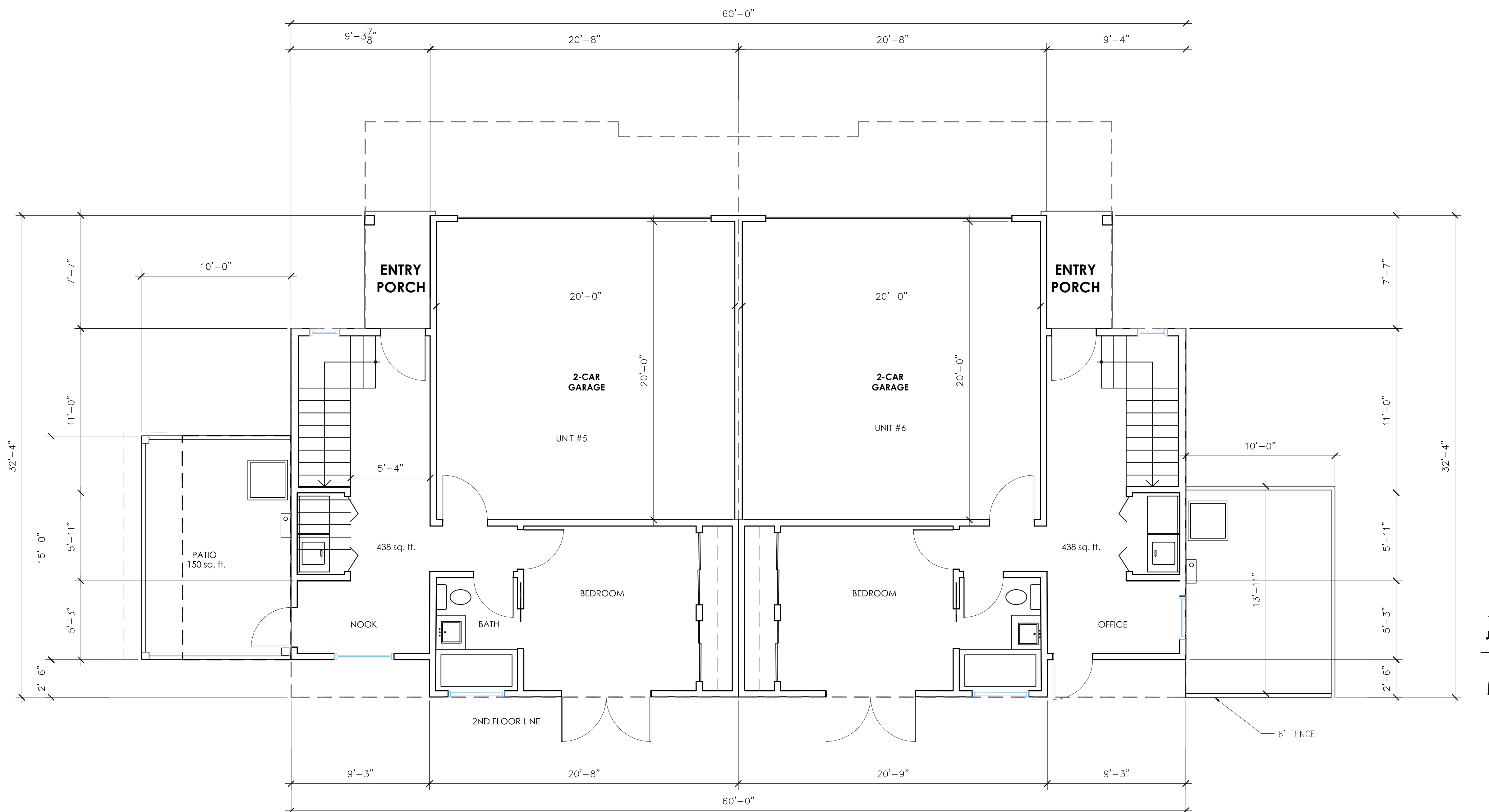
SHEET NO.

BY: C.GOLFIN

PROJ. #:

SCALE: AS NOTED

A3



PROPOSED FIRST FLOOR PLAN

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Redondo Beach CA, 90260
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CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT # 5,6
FLOOR
PLANS

DATE: 3-28-21

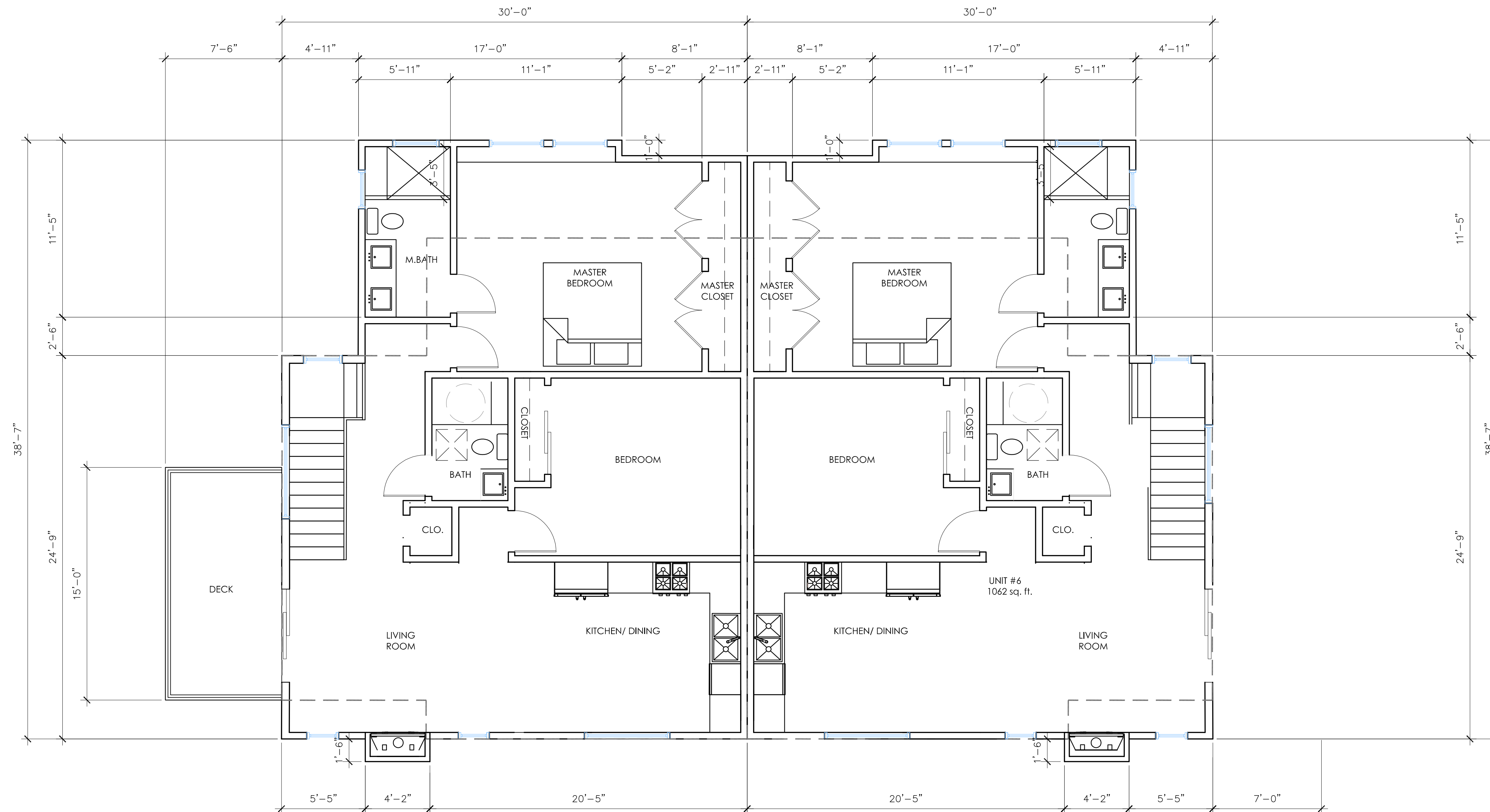
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SCALE: AS NOTED

SHEET NO.

A3

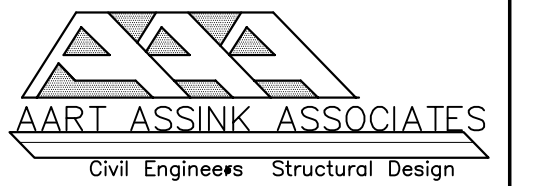


PROPOSED SECOND FLOOR PLAN



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Redondo Beach CA, 90260
Ph: (310)405-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT # 5,6
FLOOR
PLANS

DATE: 3-28-21

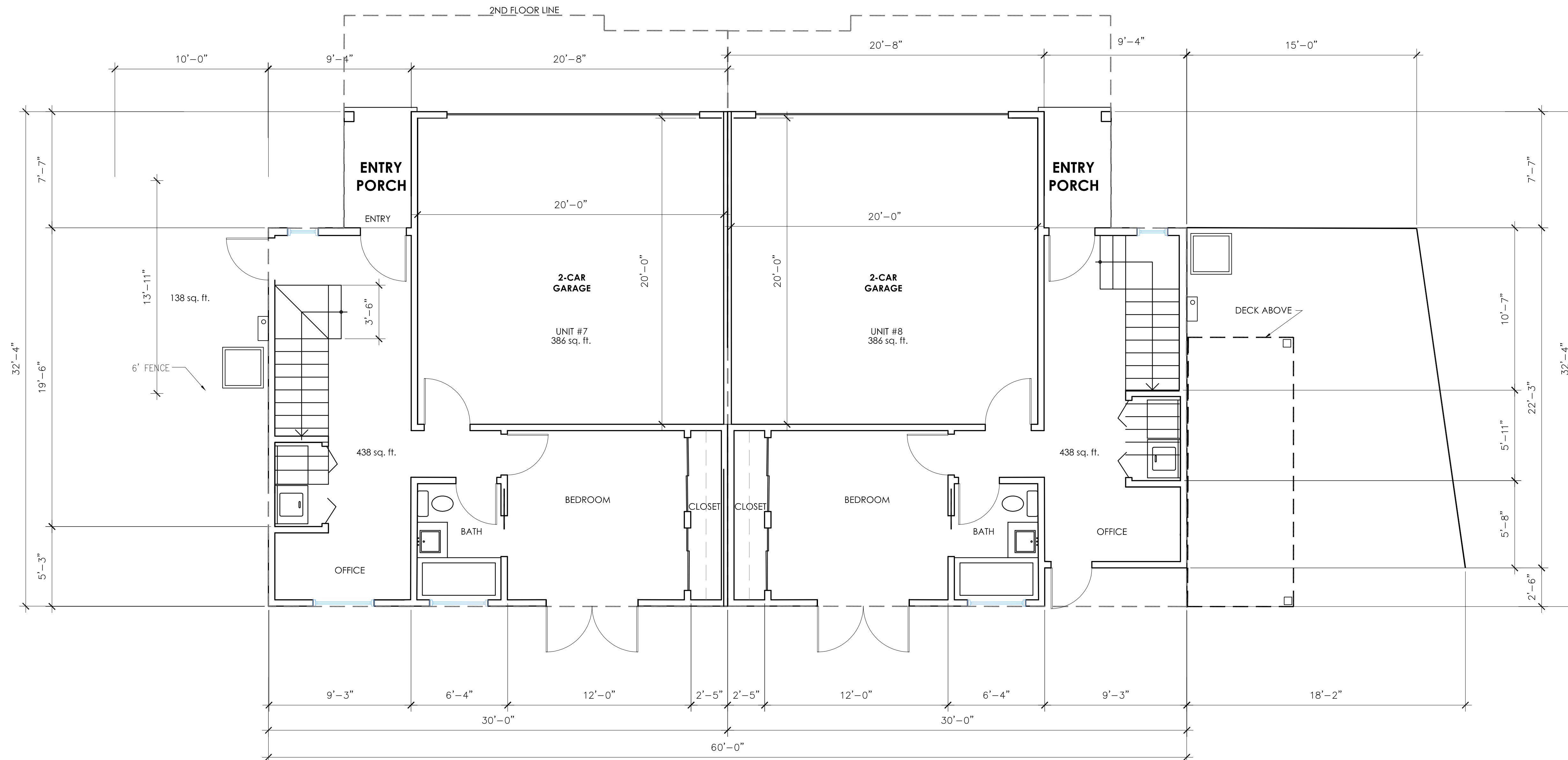
BY: C.GOLFIN

PROJ. #:

SCALE: AS NOTED

SHEET NO.

A4



PROPOSED FIRST FLOOR PLAN

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CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #7,8
FLOOR
PLANS

DATE: 3-28-21

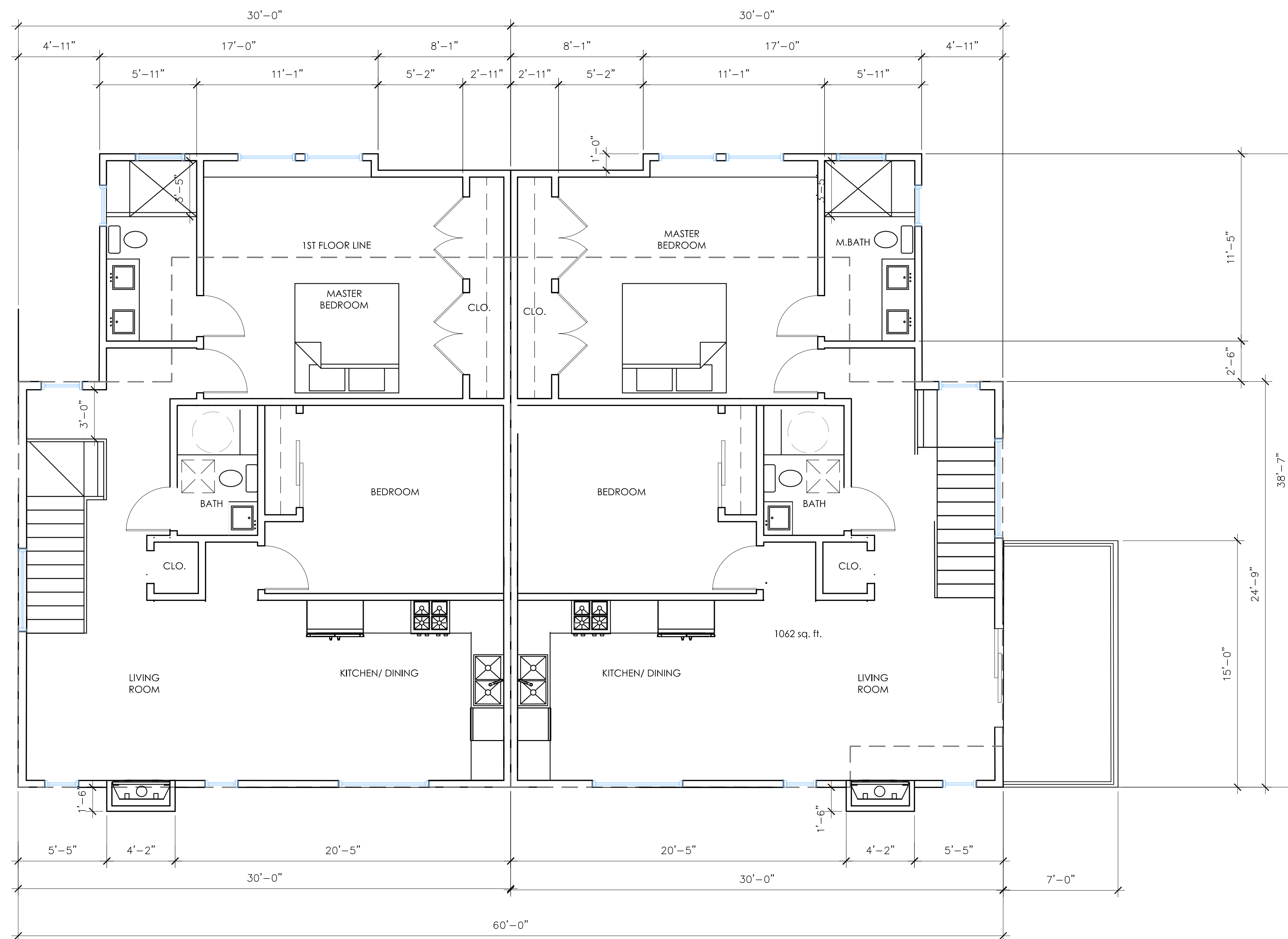
BY: C.GOLFIN

PROJ. #:

SCALE: AS NOTED

SHEET NO.

A5



PROPOSED SECOND FLOOR PLAN

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CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

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 LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #7,8
 FLOOR
 PLANS

DATE: 3-28-21

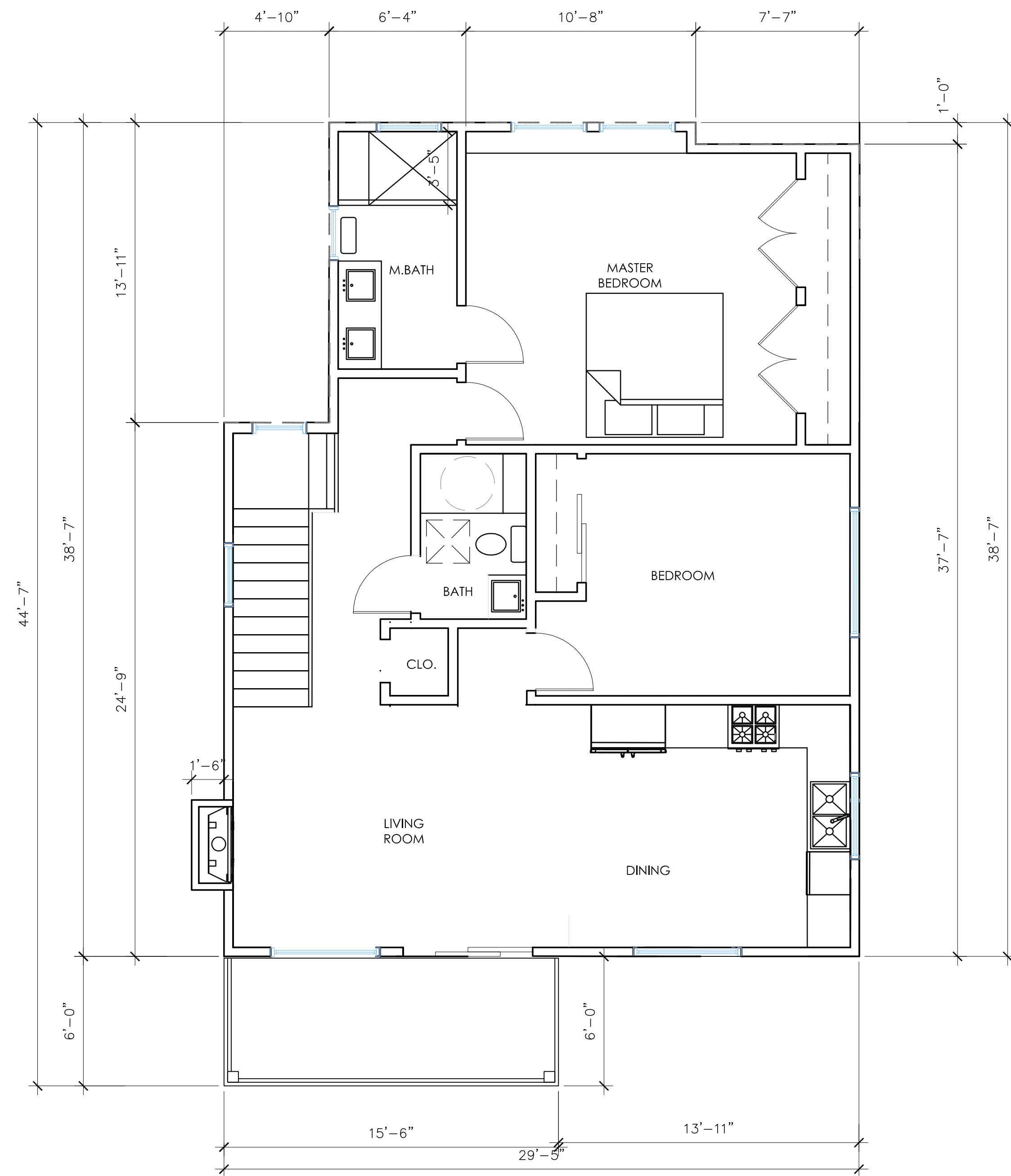
BY: C.GOLFIN

PROJ. #:

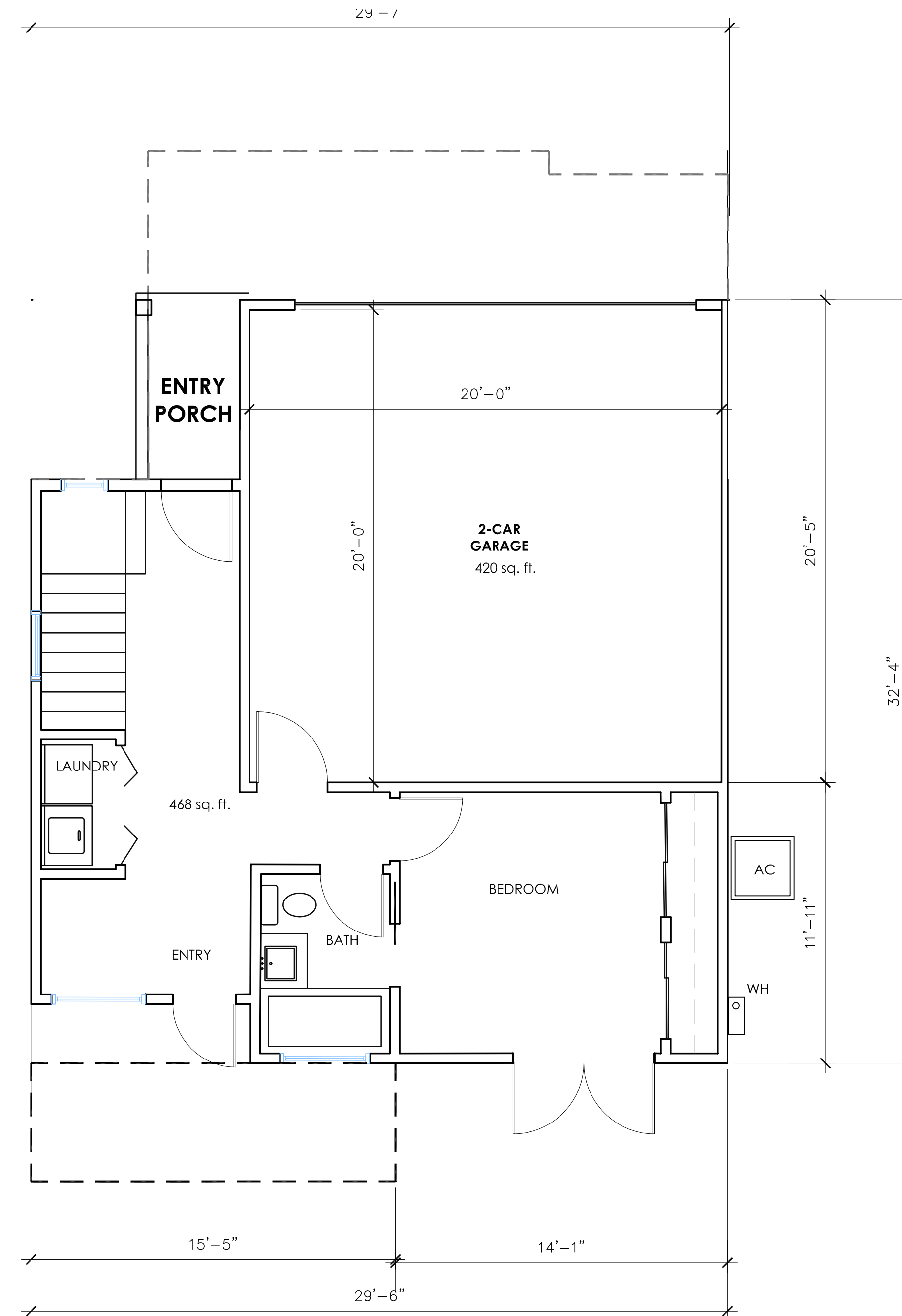
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SHEET NO.

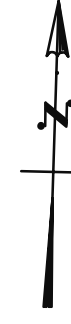
A6



PROPOSED SECOND FLOOR PLAN

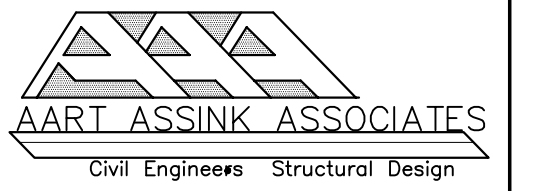


PROPOSED FIRST FLOOR PLAN



2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)405-6557
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #9
FLOOR
PLANS

DATE: 3-28-21

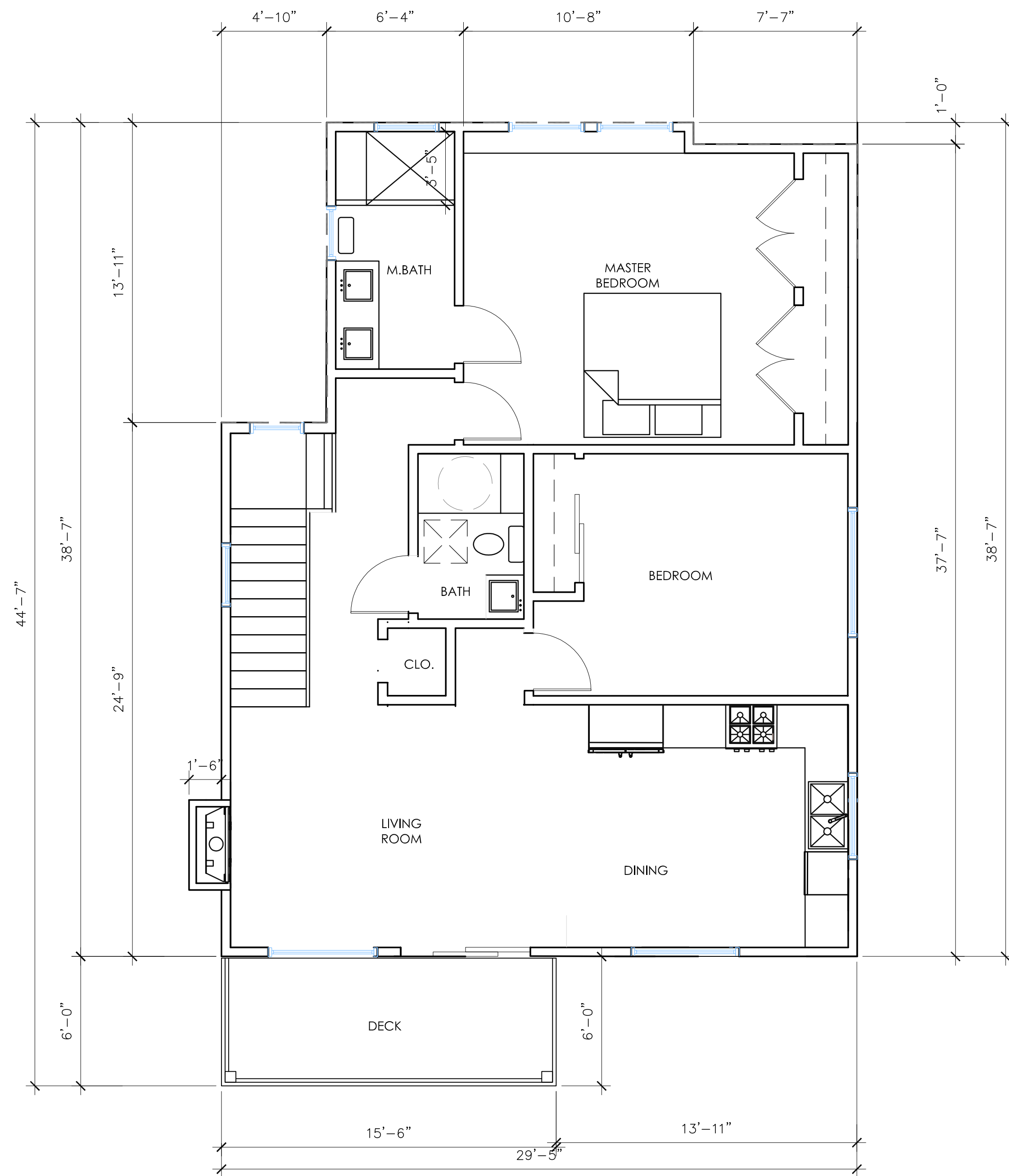
SHEET NO.

BY: C.GOLFIN

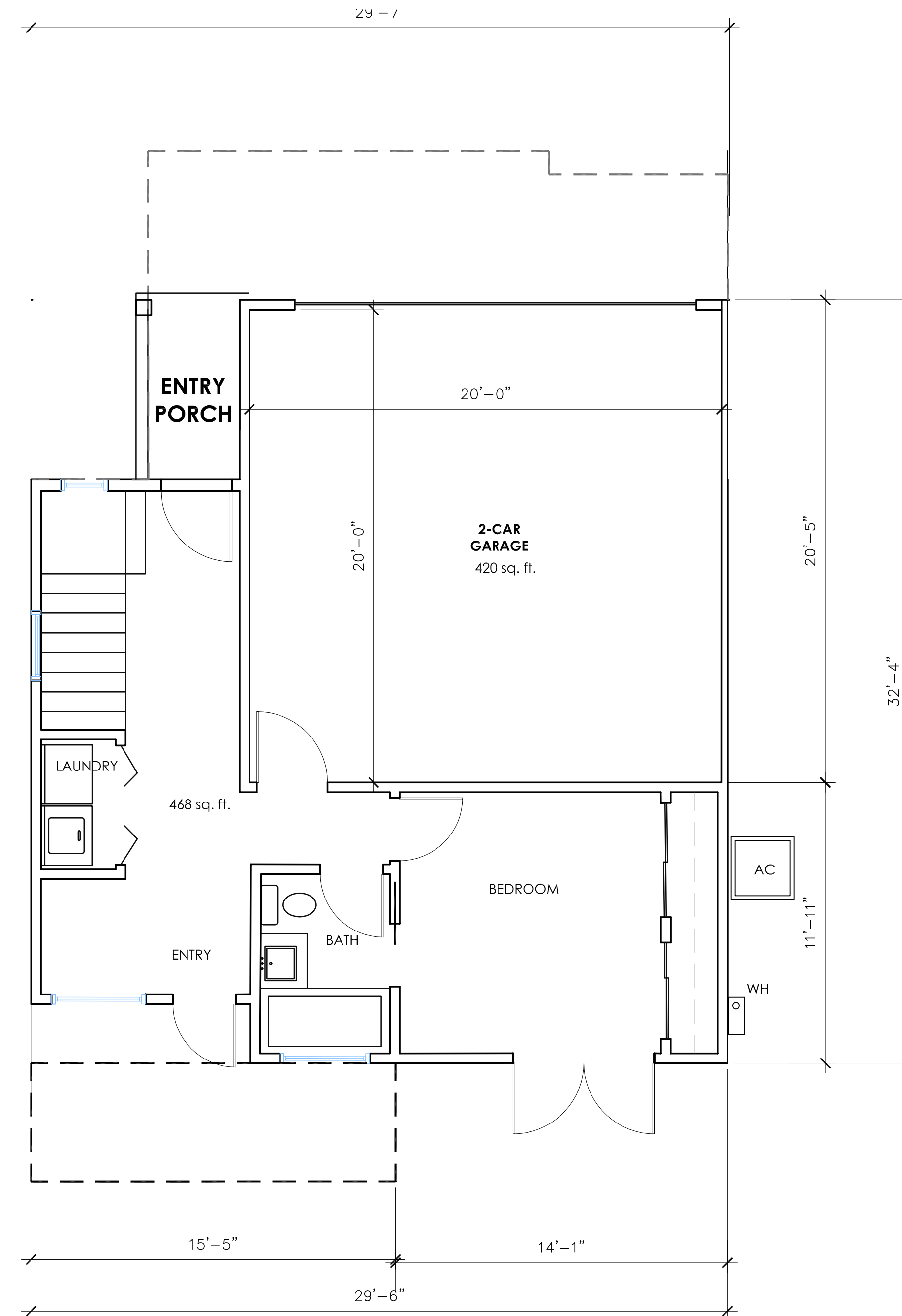
PROJ. #:

SCALE: AS NOTED

A7



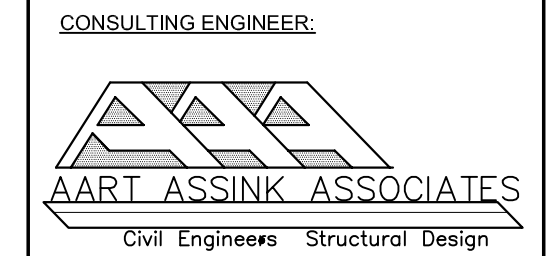
PROPOSED SECOND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)405-6557
CGBUILDINGDESIGN@GMAIL.COM



CLIENT NAME:
E&S PRIME BUILDERS

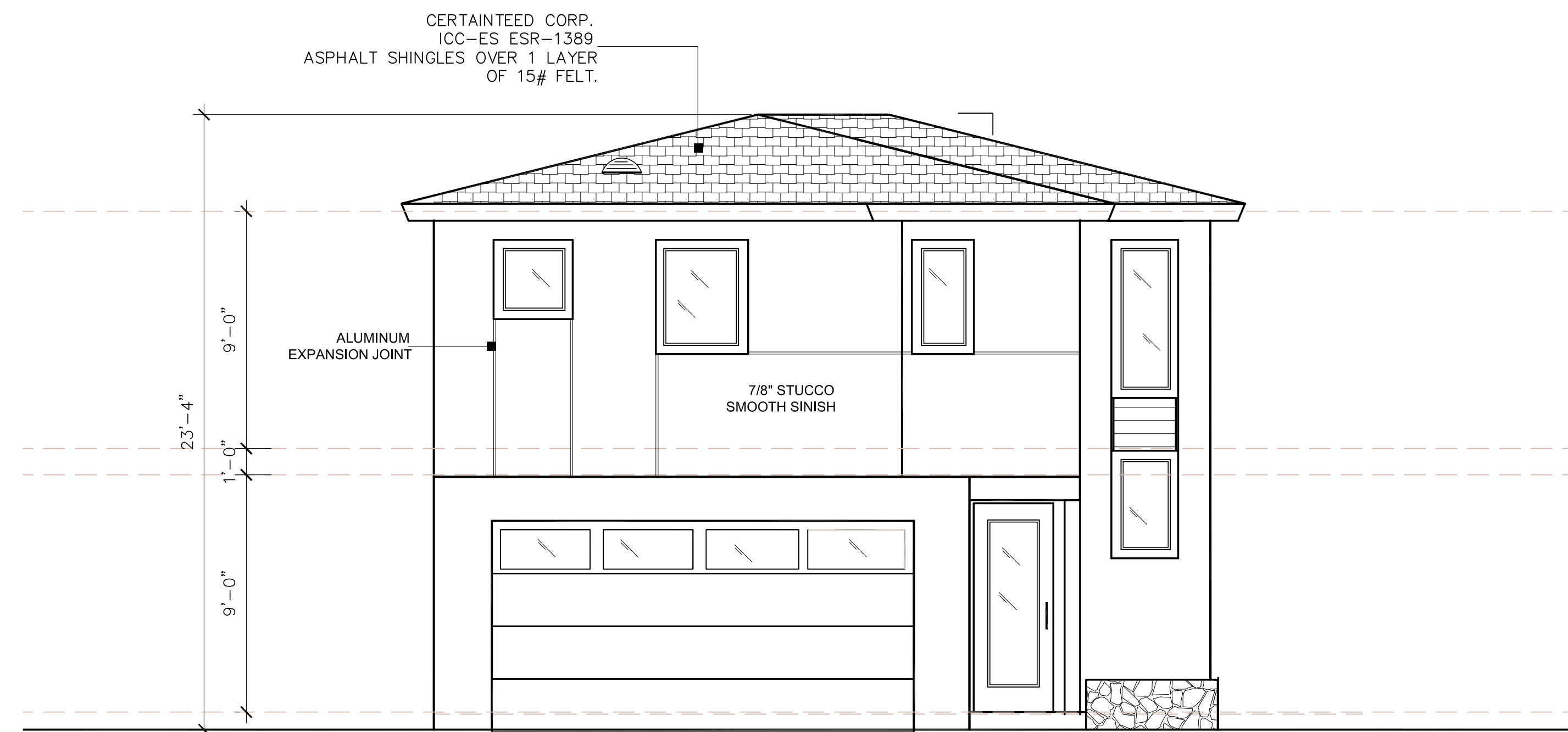
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26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION
LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

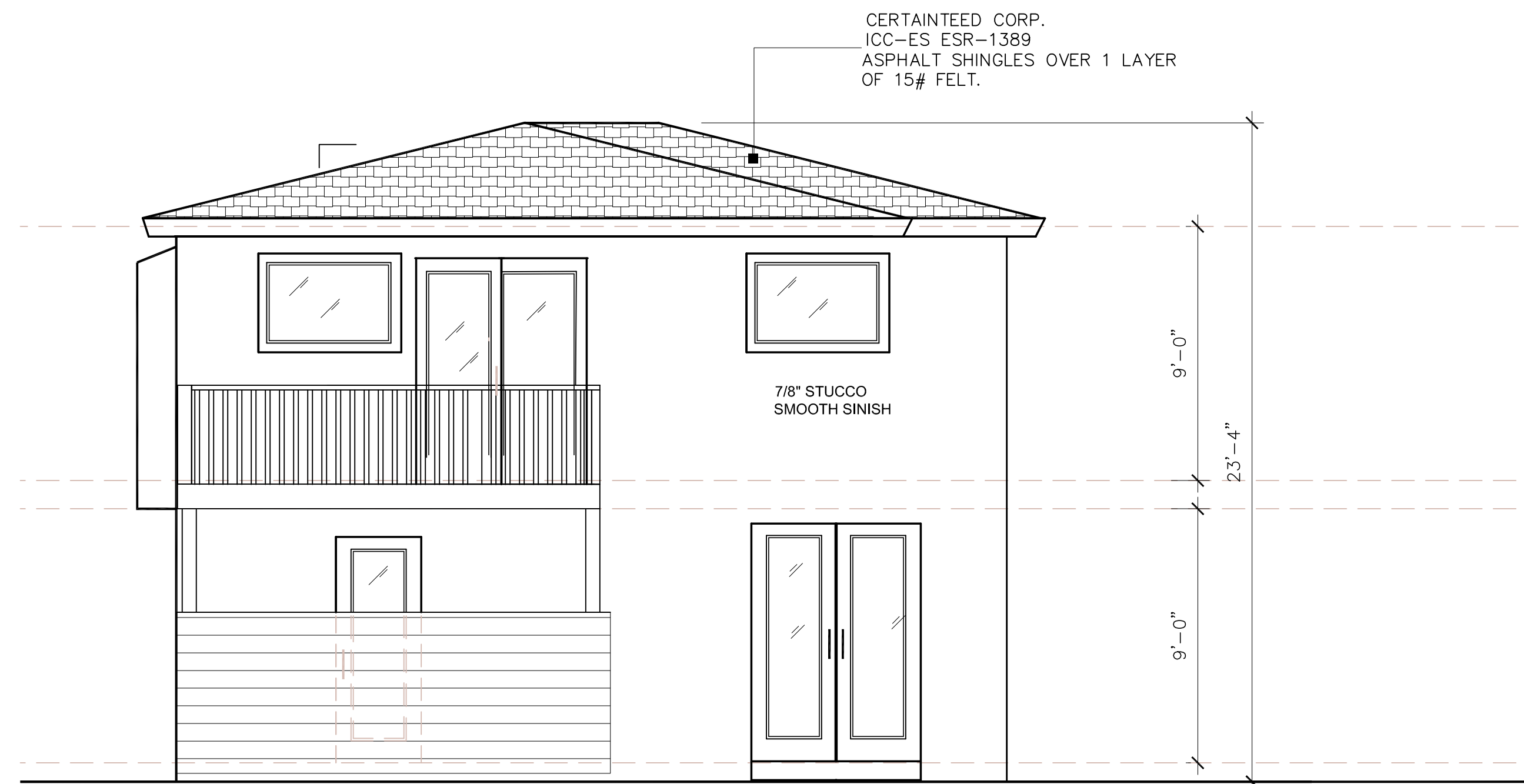
REVISIONS

SHEET TITLE:
UNIT #9 FLOOR PLANS

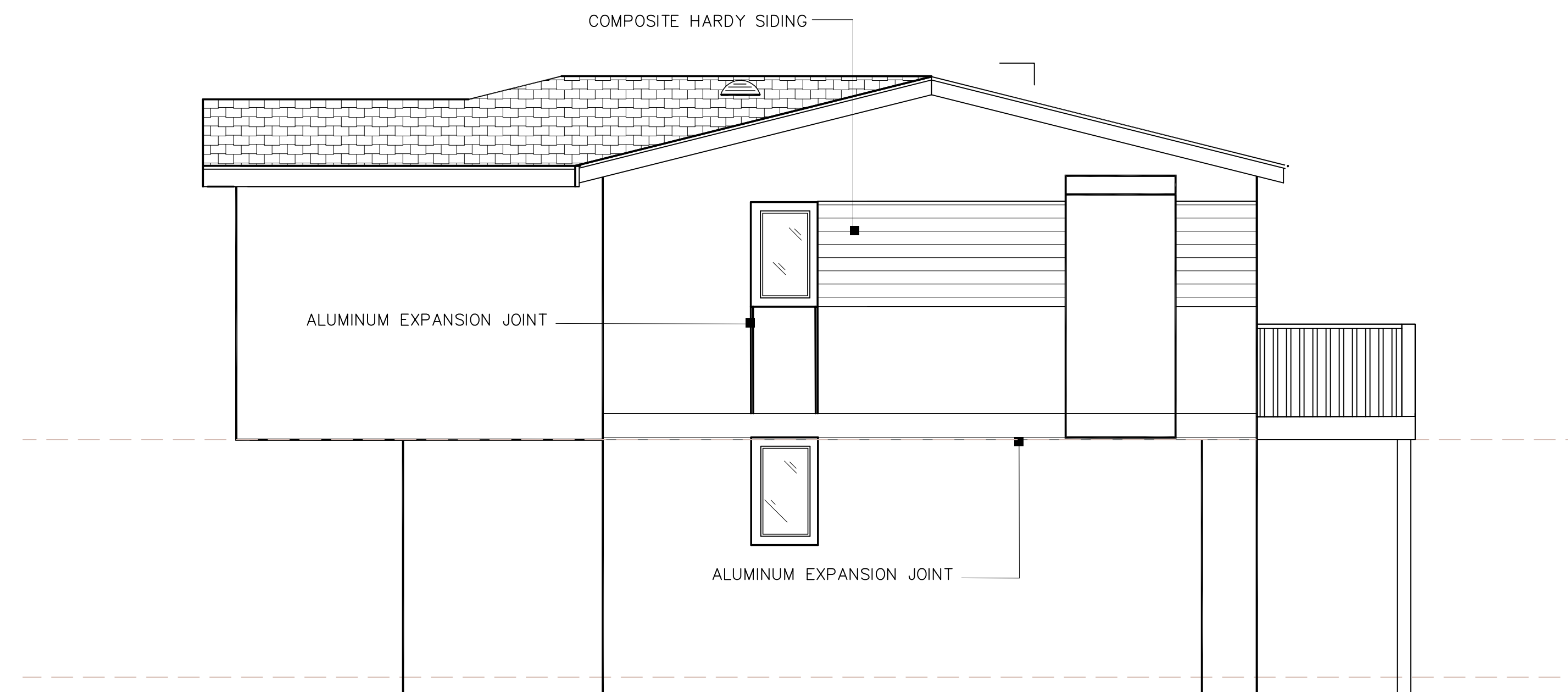
DATE: 3-28-21	SHEET NO.
BY: C.GOLFIN	A7
PROJ. #:	
SCALE: AS NOTED	



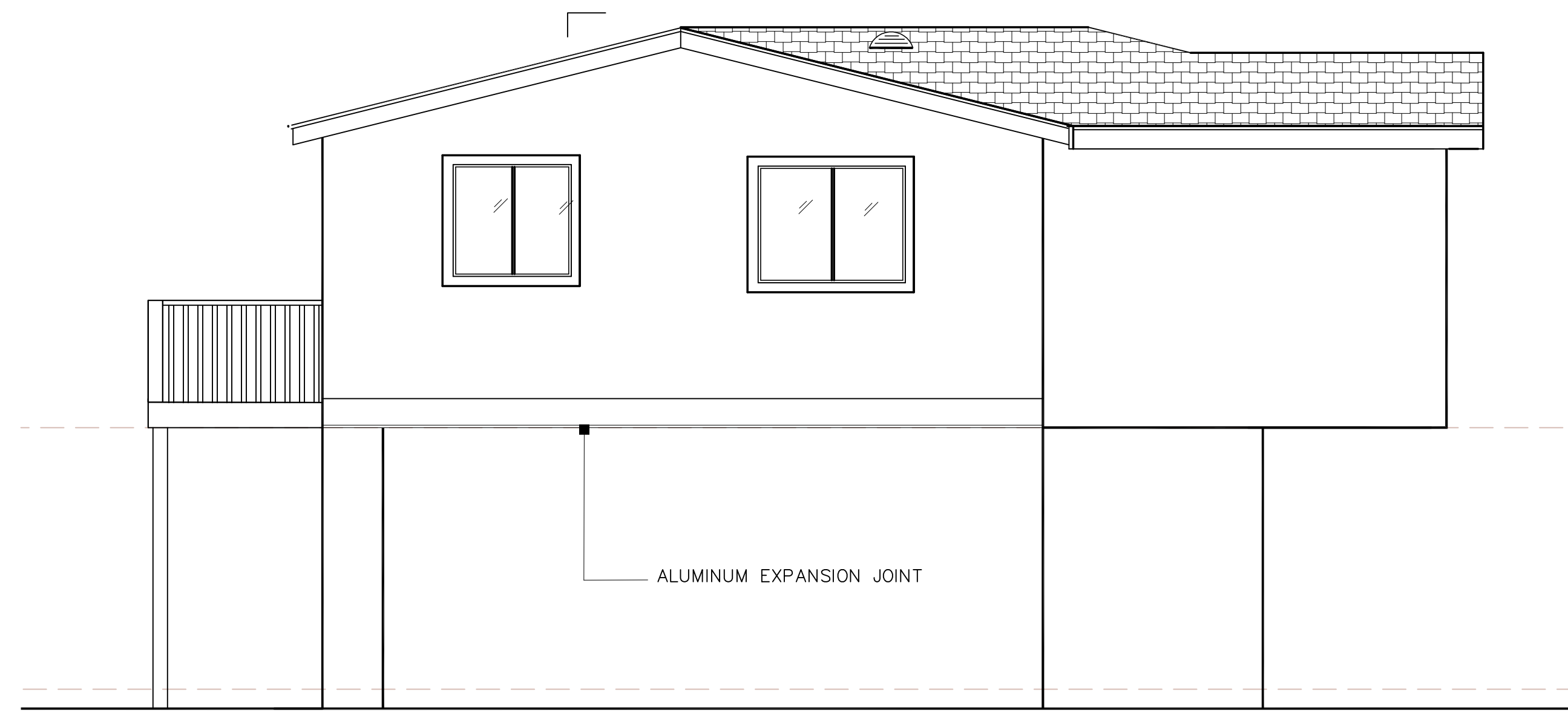
NORTH ELEVATION



SOUTH ELEVATION

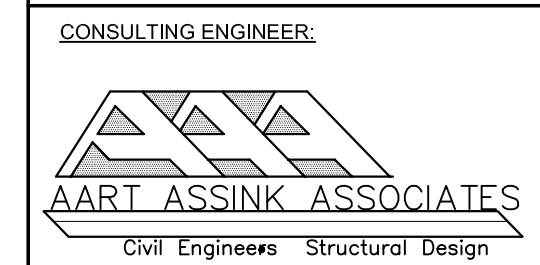


WEST ELEVATION



EAST ELEVATION

2706 Artesia Blvd, Suite D
 Redondo Beach, CA, 90260
 Ph: (310)405-6357
 CGBUILDINGDESIGN@GMAIL.COM



CLIENT NAME:
E&S PRIME BUILDERS

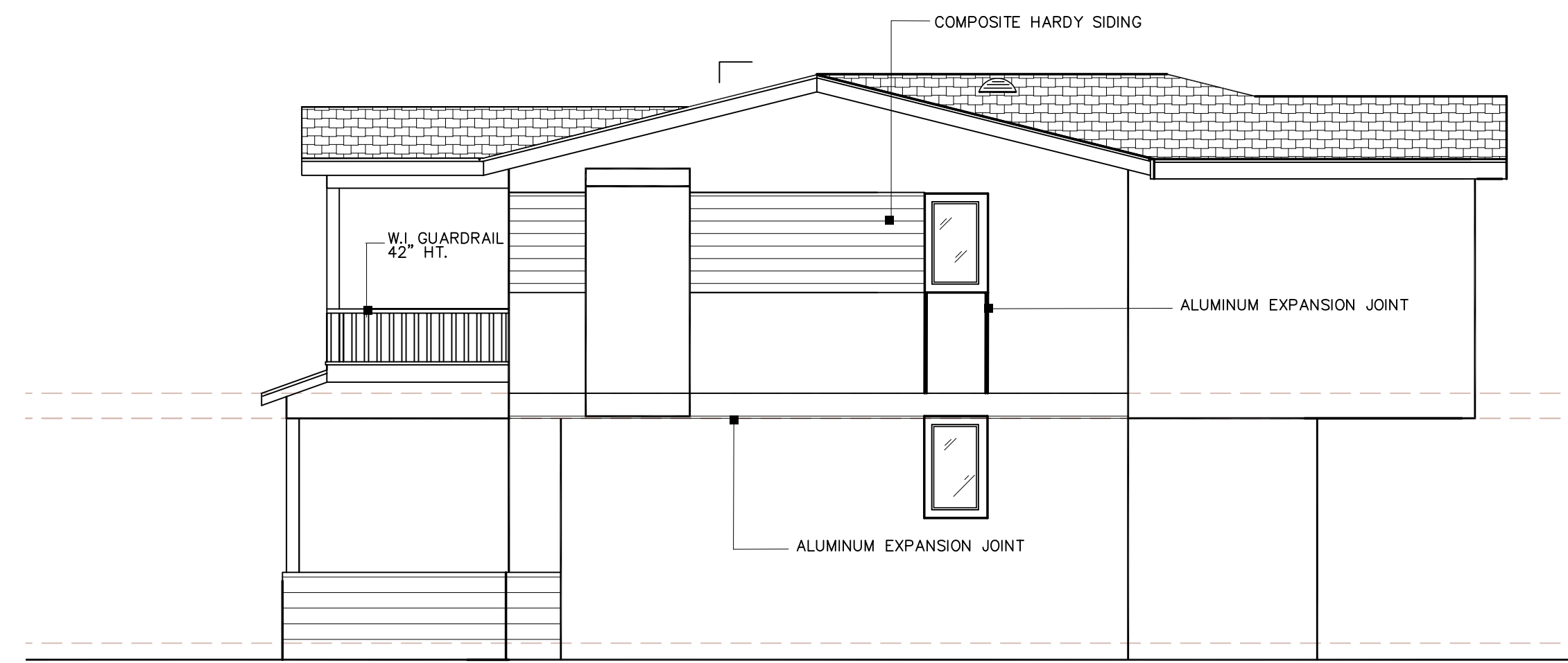
SITE ADDRESS:
 26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION
 LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

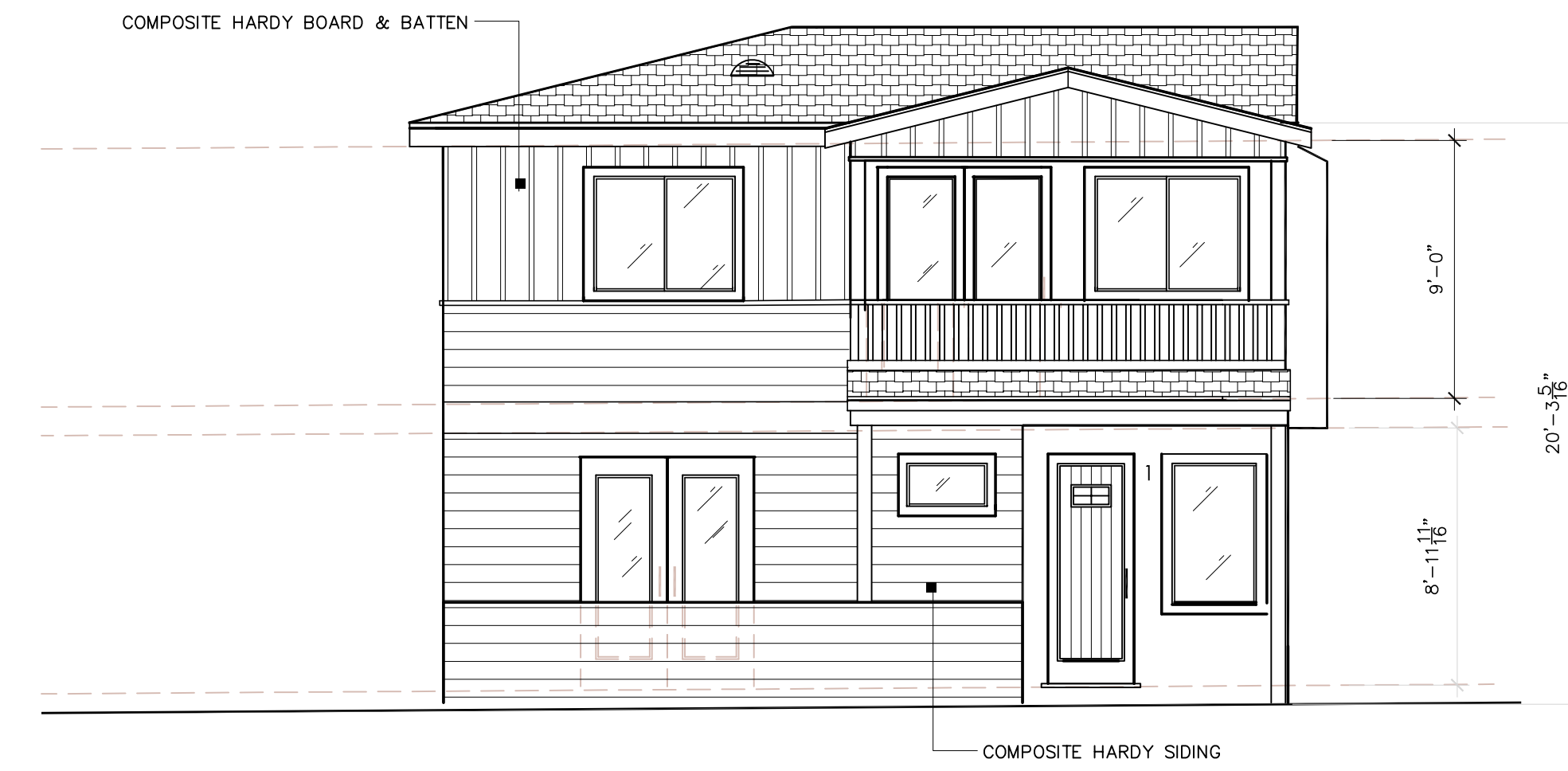
REVISIONS

SHEET TITLE:
EXTERIOR ELEVATIONS

DATE: 3-28-21	SHEET NO.
BY: C.GOLFIN	A8
PROJ. #	
SCALE: AS NOTED	



WEST - UNIT 1



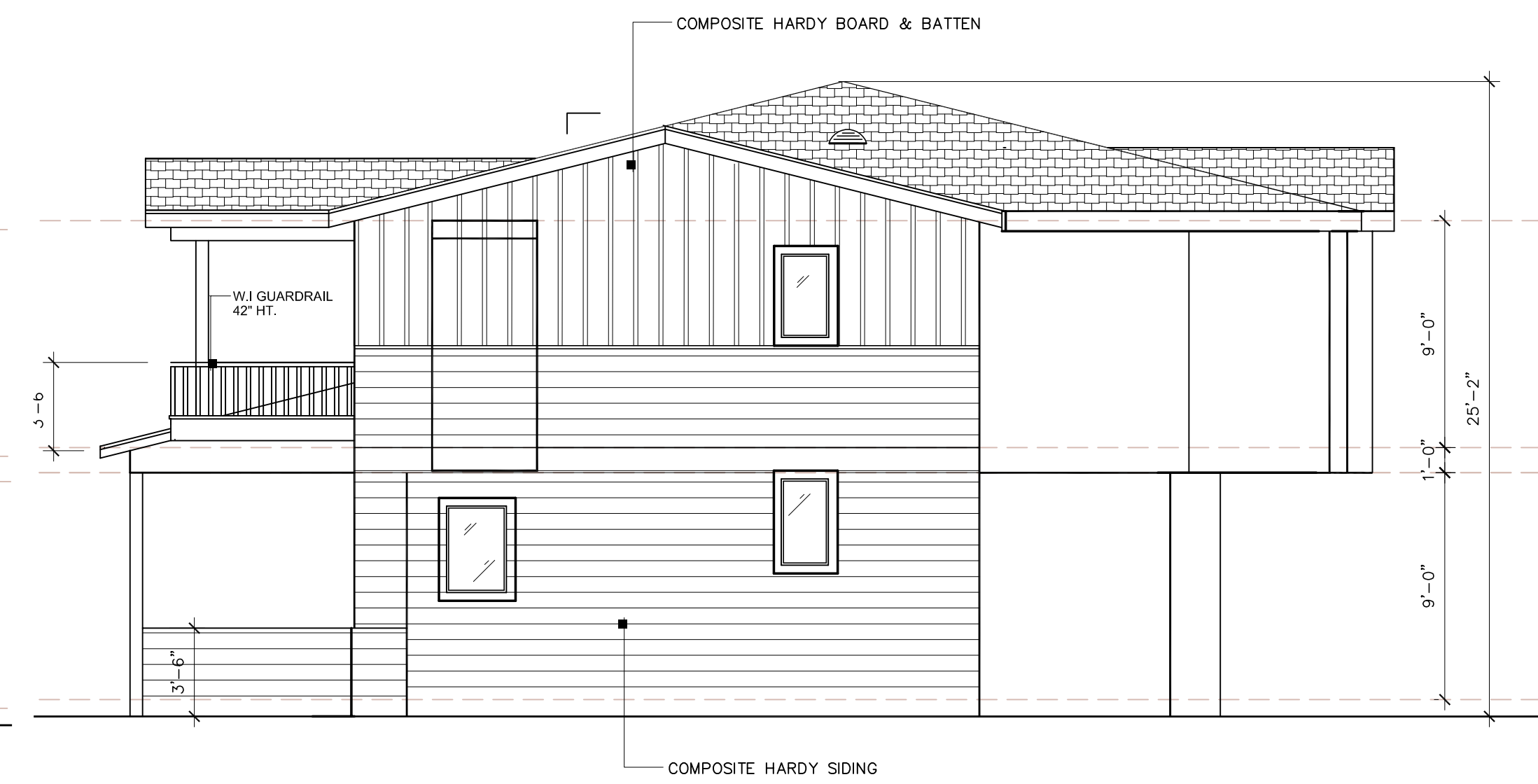
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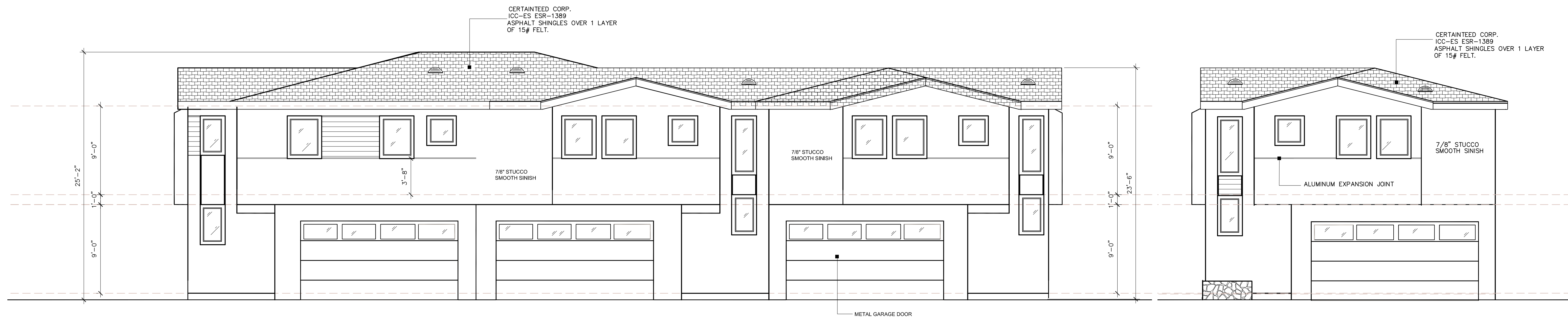
WEST - UNIT 2

WEST - UNIT 3

WEST - UNIT 4



SOUTH ELEVATION - UNIT 4



EAST - UNIT 4

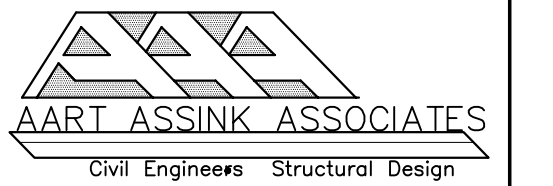
EAST - UNIT 3

EAST - UNIT 2

SOUTH - UNIT 1

2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)406-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION
LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT # 1,2,3,4
EXTERIOR
ELEVATIONS

DATE: 3-28-21

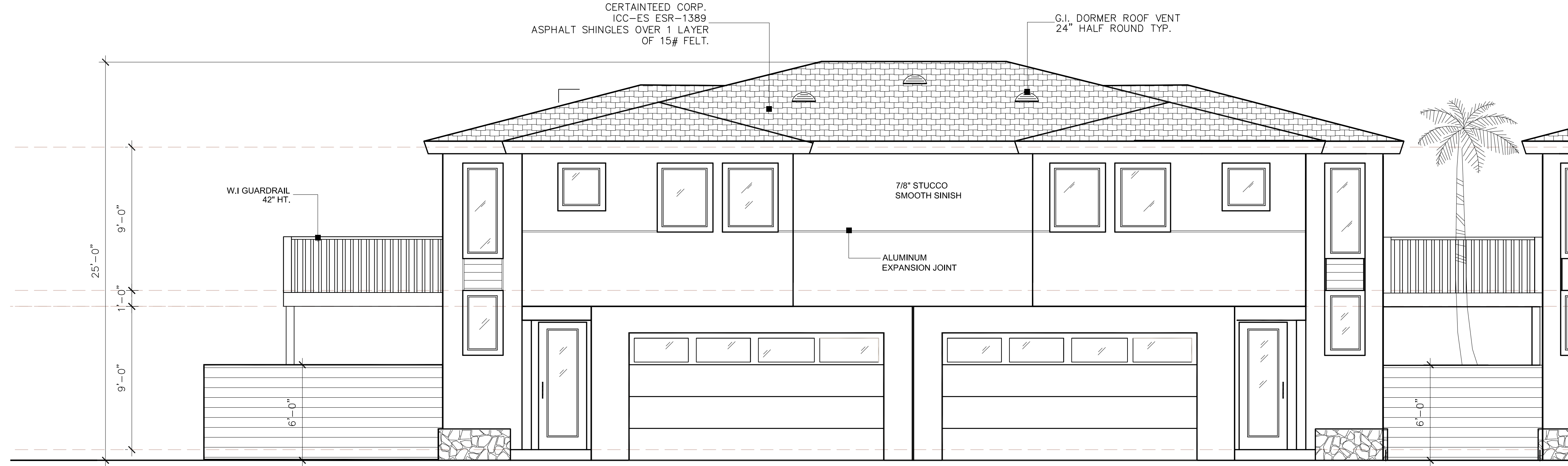
SHEET NO.

BY: C.GOLFIN

PROJ. #:

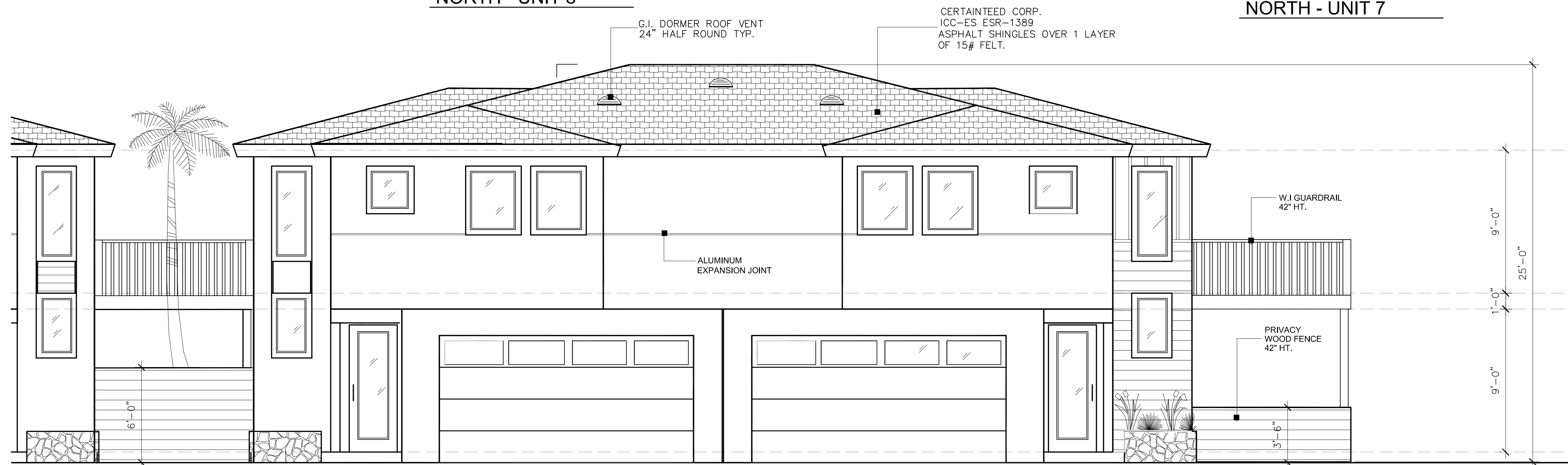
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A9



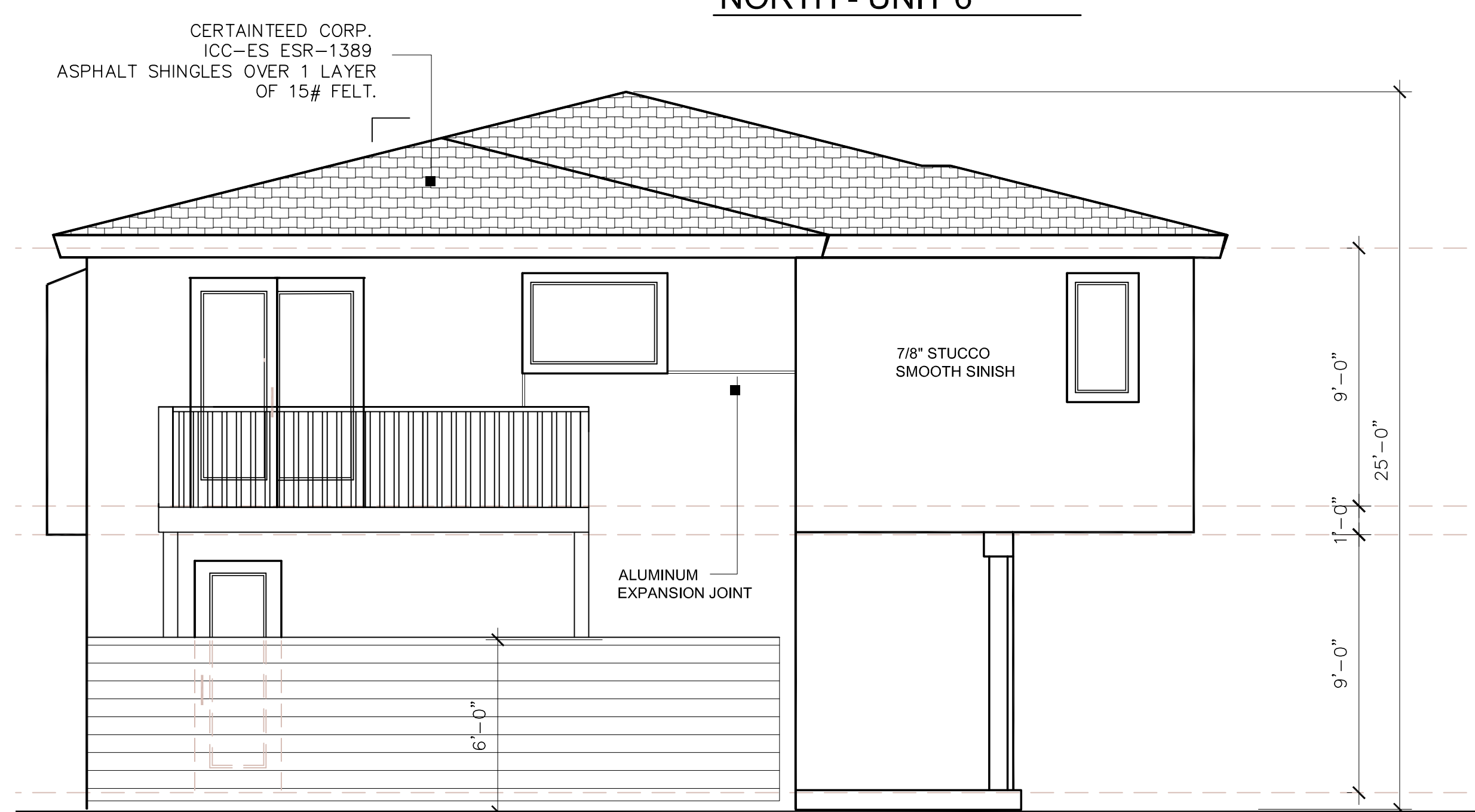
NORTH - UNIT 8

NORTH - UNIT 7

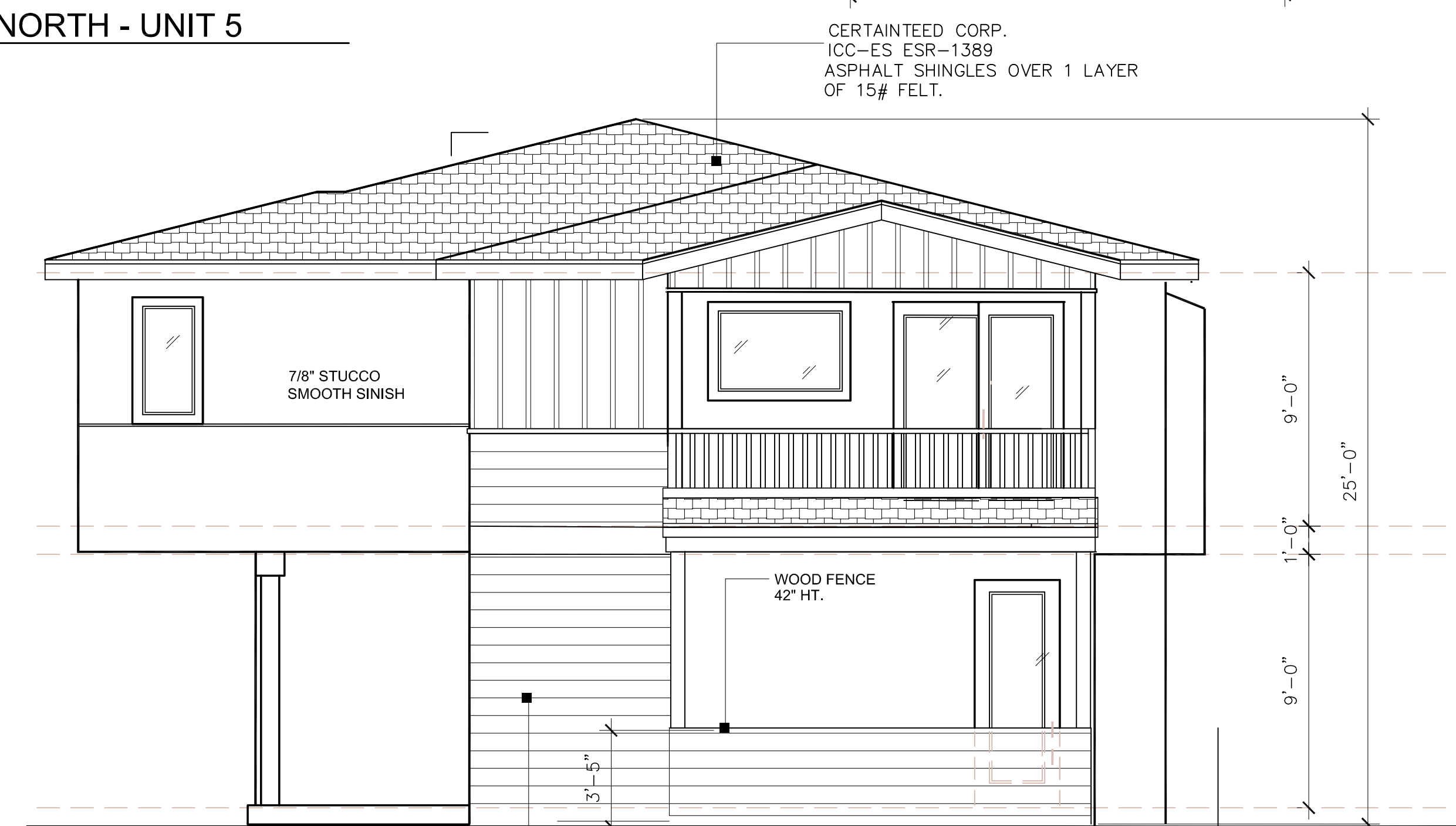


NORTH - UNIT 6

NORTH - UNIT 5



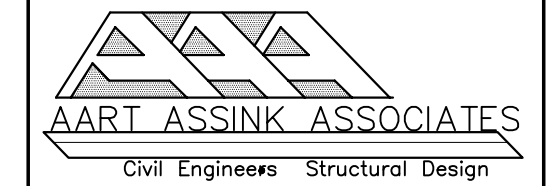
EAST - UNIT 8



WEST - UNIT 5

2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)406-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT # 5,6,7,8
EXTERIOR
ELEVATIONS

DATE: 3-28-21

SHEET NO.

BY: C.GOLFIN

PROJ. #:

SCALE: AS NOTED

A10

Jenny and Roger Rooney
2057 261st Street
Lomita, CA 90717
Ssrrooney@aol.com

May 19, 2019

Community Development Department
Planning Division
24300 Narbonne Avenue
Lomita, CA 90717

Received
MAY 24 2019
Lomita
City Clerk's Office

Dear Members of the Planning Division of Lomita,

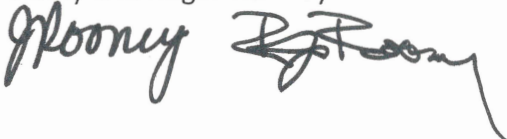
We are writing to you in regards to the proposed building at 26016 Oak Street. While the height variance may not impact us too much, certainly nine multi-family dwellings will. The increased number of families, their visitors, and the vehicles used by both will negatively affect us. Available parking on Oak Street is limited; the street is always lined on both sides with cars. Often people decide to park on our street, 261st, to visit residences on Oak. This overflow parking severely impacts us; twice emergency vehicles had trouble getting to our residents because of the cars parked on our street. It actually is quite dangerous! In addition, because our street is private, we are responsible for its maintenance. With added cars and traffic, we will have to repair and maintain more often; the cost to do so is already quite high. We highly suggest that the builders of these new units make adjustments adding a significantly greater number of guest parking spots on the property itself so that occupants and/or their visitors have no need for parking on either Oak or 261st.

The increase of residences on just one lot will also change the feeling on our street. Right now, the property at 26016 Oak Street is a single residence surrounded by trees and foliage. We see only a fence and landscaping. We hear birds in the trees from that yard. Exchanging this quiet, single residence with 9 residences full of people surrounded by buildings and cement, will certainly change our lifestyle and negatively impact our property values. We suggest a reduced number of new residences.

We have lived in our home for nearly thirty years, raised our three children to adulthood in our home. We do not want to be forced to move because we can no longer enjoy the peace and beauty of our street. Please be considerate of the concerns of your long-time residents on 261st Street.

Thank you,

Jenny and Roger Rooney

Handwritten signatures of Jenny and Roger Rooney in black ink.

Dear Alicia Velasco,
Director of Community and Economic
Development

My wife and I are opposed to
further construction at 26016 Oak St.
A height of 25'2" is too high
and would block our view. Also,
Oak St. south of Pacific Coast Hwy
is overcrowded with apartment buildings
and a trailer park, making parking
on Oak very difficult. Adding
another 9 single family dwellings
will make a bad situation worse.
This would create over-crowding.

Sincerely,
Tom Alford
Tom Alford

Certify: 7018 1877 001 5016 7156

5

RECEIVED
CITY OF LOMITA

May 23, 2019

From: Huguette ^{2019 MAY 28 PM 12:23} Francine Braun
237 Via Pasqual Redondo Beach CA 90277

To: C.G.A. 2706 Artesia Blvd Suite D or their representative
Redondo Beach CA. 90278 and Alicia Velasco c.s. Planning
division 24300 Narbonne Ave. Lomita CA. 90717

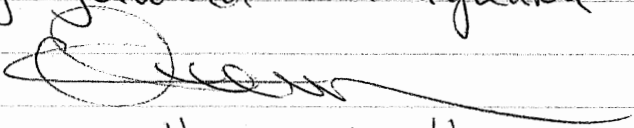
I am looking at the tentative drawing of replacing
a one story home with nine, two stories homes and one
guest parking across the home I own at 2081 W. 261st
St. Lomita 90717.

A lot of issues

1. The big historical trees cannot be cut. They are protected.
2. The proposed project has too many units, too high, not enough guest parking and no park/green area for their occupants
3. Would reduce property values and quality of life
4. Increase traffic which is already congested at his maximum and concern to safety, fire and aesthetic concerns
5. Digging that would generate dust in the area that may contain silica which cause silicosis.
6. Project not in harmony with the surrounding residential and rural character
7. I imagine that you are aware of tunnel under the property and how would you manage it as it could effect the stability of my house.

Those issues are serious and need to be discuss because my home is going to be the most effected by it. Please respond.

Looking forward to a agreeable understanding


Huguette "Francine" Braun

May 20, 2019 4
2058 261 87
Lomita, CA 90717

RECEIVED
CITY OF LOMITA

2019 MAY 28 PM 2:15

Community Development Dept.
Planning Division
24300 Narbonne Ave
Lomita, CA 90717

Dear Ms. Velasco,

We received a height variation request notice concerning the property located at:
26016 Oak St, Lomita, CA, 90717.

Not only are we objecting to the height we also object to the number of residences being built. Both issues will have a negative impact on our quality of life on both our home and our private street, Rustic Lane.

Before we even address the height issue let's tackle the traffic and parking issues.

Parking and traffic on Oak Street is already unbearable. For a street that's two blocks long it sometimes 3 lights to get across PCH or turn on and that's not just rush hour.

The parking issue — there is NO parking on Oak Street ever. It is impossible to find legal parking. Most of the illegally are never cited. They block our ingress and

egress. They block access to sidewalks. They double park with delivery trucks, moving vans, uber, grubhub -

Driving on Oak Street is dangerous - ! just how much more traffic and parking do believe Oak Street can handle?

How many of you that make these decisions live south of PCH on Oak Street?

The height issue - well it totally removes our privacy on our street. We will be living in a fish bowl - which I believe will devalue the houses on our street. It will change the quality of life and privacy on Rustic Lane -

Thank - you for considering our concerns.

Sincerely,

Richard and Paula McKendry

310. 283 - 3218

pamckendry@ca.m.com

May 29, 2019

5

To City of Lomita Community Planning

RECEIVED
LOMITA
2019 MAY 30 AM 8:07

I, Deborah Casanova, POA for Jean Roper at 2051 261st Street, Lomita hereby oppose the height variation for the 26016 Oat St. I believe this height will greatly diminish the entrance to our private street 261st St. This in turn I'm afraid, will lower the property values in our street.

I adamantly oppose the driveway that would cut through our block wall and cross our fire lane in our private street. We paid for that wall and oppose any cars coming into our street. We have limited parking. We need our fire lane.

I want to construct a gate at the end of our street that would prevent any unnecessary car from entering and do not want any homeowners & their guests driving in our private street.

Sincerely,
Deborah Casanova POA
for Jean Roper

May 27, 2019

Community Development Department Planning Division

24300 Narbonne Avenue

Lomita CA 90717

Attn: Alicia Velasco

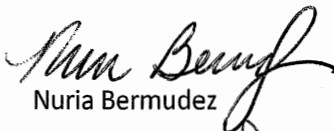
RE: Height Variation Permit NO. 105

We write this letter in response to the notice received May 23, 2019, please refer to copy enclosed.

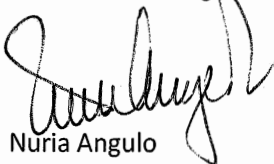
We would like to express our concern with the proposed plan to build nine two story family dwellings in the adjacent property to our small community referred to as Rustic Lane. In observation of the silhouette of the proposed construction what is evident is the obstruction of sunlight and the loss of trees which is what we admired most when we first bought our home on this street in April of 2001. There is also the issue of privacy loss, with homes so high up and located almost right at the property line, is of concern. We have been part of this community for over 15 years. We are extremely concerned that this construction of nine two story multi-family dwellings will have a huge impact on the already horrible parking issue up and down Oak Street. We constantly deal with illegal parking on fire lanes, double parking on the street, unauthorized parking on our private street and sometimes have had vandalism of our cars and properties. The potential authorization of allowing this construction with only one parking spot for this project is not taking into consideration the impact it will have on our properties located directly next to this project.

Your consideration for our neighborhood street is greatly appreciated.

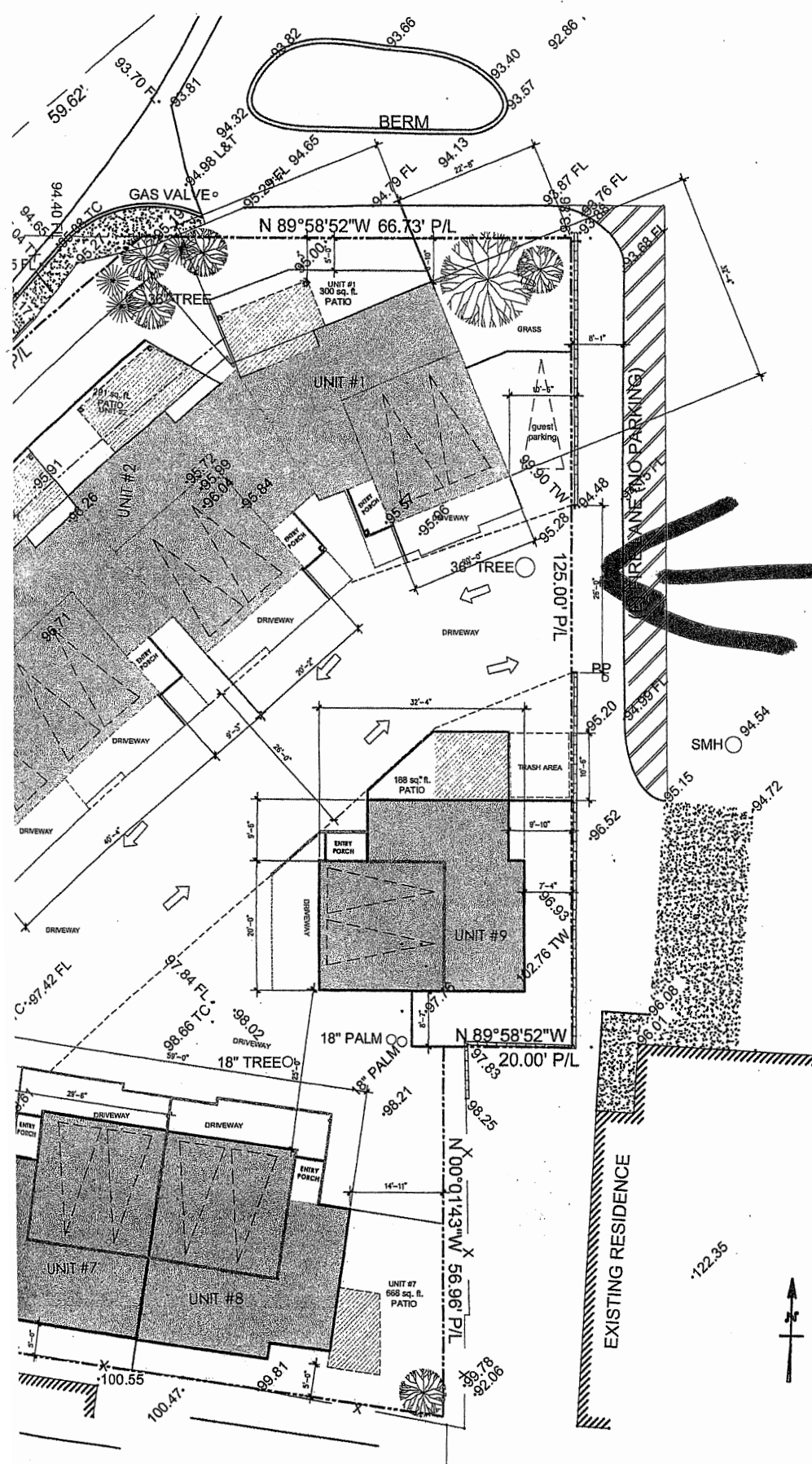
Sincerely,



Nuria Bermudez


Doug Bermudez


Nuria Angulo


Hector Angulo



2705 Arroyo Blvd. Suite D Redondo Beach CA, 90260 Ph: (310)468-8357 E:CBUILDINGDESIGN@GMAIL.COM																					
CONSULTING ENGINEER																					
																					
CLIENT NAME:																					
E&S PRIME DEVELOPER																					
SITE ADDRESS:																					
28016 OAK STREET LOMITA, CA 90717																					
LEGAL DESCRIPTION																					
LOT 5 & A PORTION OF LOT 4 TRACT NO. 954 M.B. 17-16 APN 7553-009-039																					
REVISIONS																					
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SITE PLAN																					
DATE: 05-15-19	SHEET NO.																				
BY: C.GOLFIN	A0																				
PROJ. #																					
SCALE: AS NOTED																					

Date: May 29, 2019

RE: Height variation Permit No. 105

Dear Director Alicia Velasco,

My wife and I own a condominium located at 26035 Oak Street, Lomita CA 90717. We do have concerned about the impact to our property by the proposed two-story multi-family dwellings with a maximum height of 25 feet 2 inches.

The concerns are:

- (1)The existing view of my condominium will be obstructed and detracted by this proposed construction.

- (2)It will devalue my condominium and the rent.

Sincerely yours,

Chan Chang
Chan Chang